

# WATER SYSTEM IMPROVEMENTS ALONG RIMER POND AND HARD SCRABBLE ROADS IN RICHLAND COUNTY, SOUTH CAROLINA

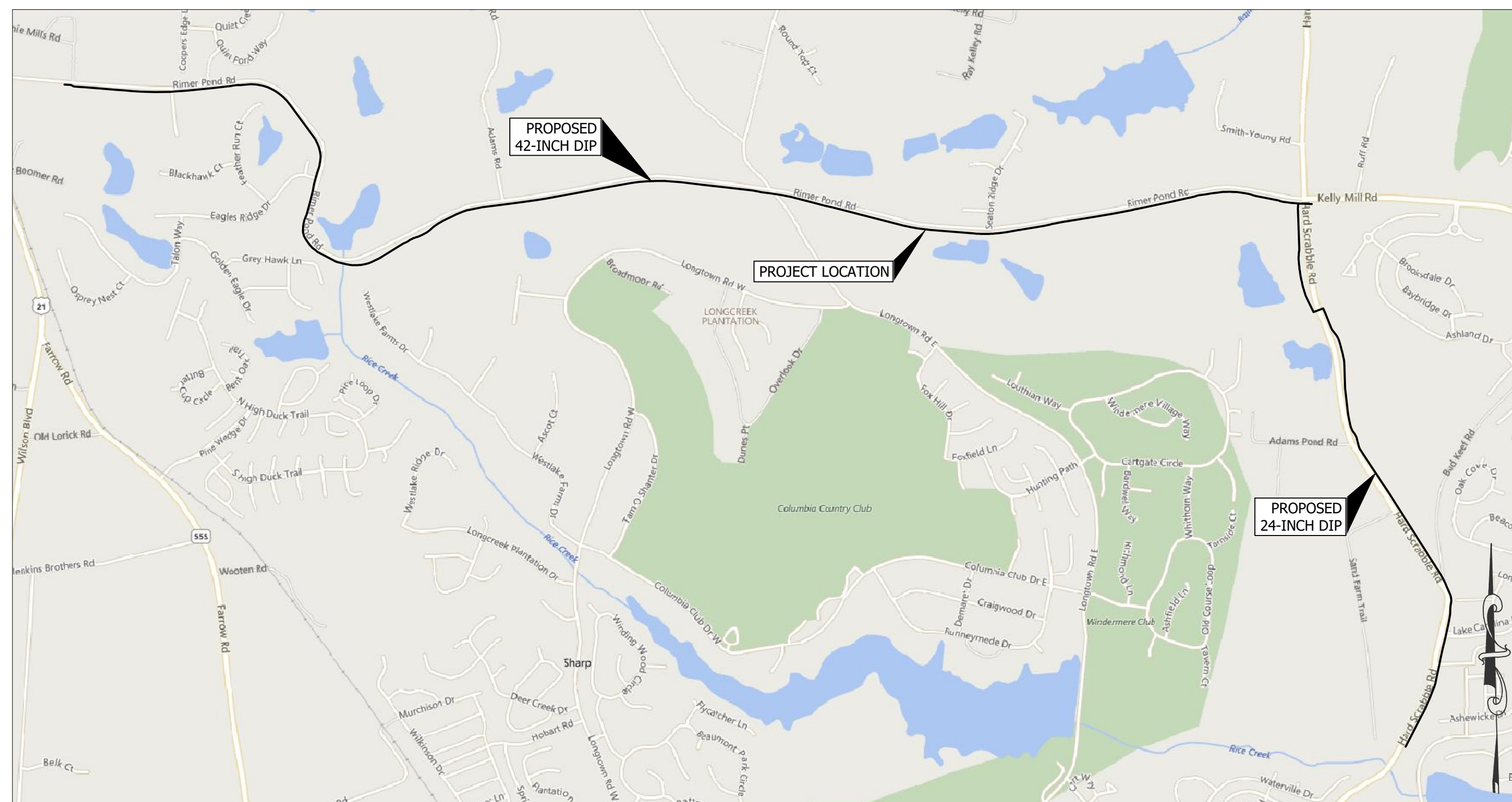
MAYOR  
STEPHEN K. BENJAMIN

CITY COUNCIL  
SAM DAVIS  
TAMEIKA I. DEVINE  
HOWARD DUVALL, JR.  
EDWARD McDOWELL, JR.  
DANIEL J. RICKENMANN  
WILL BRENNAN

CITY MANAGER  
TERESA WILSON

DIRECTOR OF ENGINEERING  
DANA R. HIGGINS, P.E.

CITY OF COLUMBIA CIP PROJECT #WM3872  
WK DICKSON PROJECT NO: 20190471.00.CA



LOCATION MAP  
1"=1,500'

**THE CITY OF COLUMBIA**  
1136 WASHINGTON STREET  
COLUMBIA, SOUTH CAROLINA 29201

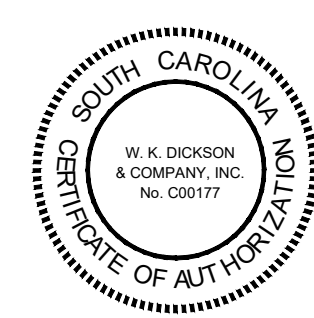
SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
G1	COVER
G2	PROJECT NOTES
G3	42-INCH WM SHEET INDEX
G4	24-INCH WM SHEET INDEX
C1	42-INCH WM PLAN & PROFILE - STA. 0+00 THRU 13+00
C2	42-INCH WM PLAN & PROFILE - STA. 13+00 THRU 27+00
C3	42-INCH WM PLAN & PROFILE - STA. 27+00 THRU 40+50
C4	42-INCH WM PLAN & PROFILE - STA. 40+50 THRU 53+00
C5	42-INCH WM PLAN & PROFILE - STA. 53+00 THRU 66+50
C6	42-INCH WM PLAN & PROFILE - STA. 66+50 THRU 80+00
C7	42-INCH WM PLAN & PROFILE - STA. 80+00 THRU 94+00
C8	42-INCH WM PLAN & PROFILE - STA. 94+00 THRU 108+00
C9	42-INCH WM PLAN & PROFILE - STA. 108+00 THRU 121+50
C10	42-INCH WM PLAN & PROFILE - STA. 121+50 THRU 135+00
C11	42-INCH WM PLAN & PROFILE - STA. 135+00 THRU 148+00
C12	42-INCH WM PLAN & PROFILE - STA. 148+00 THRU 162+00
C13	42-INCH WM PLAN & PROFILE - STA. 162+00 THRU 175+50
C14	42-INCH WM PLAN & PROFILE - STA. 175+50 THRU 189+00
C15	42-INCH WM PLAN & PROFILE - STA. 189+00 THRU 200+00
C16	42-INCH WM PLAN & PROFILE - STA. 200+00 THRU 204+19
C17	24-INCH WM PLAN & PROFILE - STA. 0+00 THRU 13+00
C18	24-INCH WM PLAN & PROFILE - STA. 13+00 THRU 26+00
C19	24-INCH WM PLAN & PROFILE - STA. 26+00 THRU 39+00
C20	24-INCH WM PLAN & PROFILE - STA. 39+00 THRU 52+00
C21	24-INCH WM PLAN & PROFILE - STA. 52+00 THRU 65+00
C22	24-INCH WM PLAN & PROFILE - STA. 65+00 THRU 78+00
C23	24-INCH WM PLAN & PROFILE - STA. 78+00 THRU 86+53
EC1	42-INCH WM EROSION CONTROL PLAN - STA. 00+00 THRU 27+00
EC2	42-INCH WM EROSION CONTROL PLAN - STA. 27+00 THRU 53+00
EC3	42-INCH WM EROSION CONTROL PLAN - STA. 53+00 THRU 80+00
EC4	42-INCH WM EROSION CONTROL PLAN - STA. 80+00 THRU 108+00
EC5	42-INCH WM EROSION CONTROL PLAN - STA. 108+00 THRU 135+00
EC6	42-INCH WM EROSION CONTROL PLAN - STA. 135+00 THRU 162+00
EC7	42-INCH WM EROSION CONTROL PLAN - STA. 162+00 THRU 189+00
EC8	42-INCH WM EROSION CONTROL PLAN - STA. 189+00 THRU 204+70
EC9	24-INCH WM EROSION CONTROL PLAN - STA.00+00 THRU 26+00
EC10	24-INCH WM EROSION CONTROL PLAN - STA.26+00 THRU 65+00
EC11	24-INCH WM EROSION CONTROL PLAN - STA. 65+00 THRU 86+57
D1	EROSION CONTROL DETAILS
D2	WATER DETAILS 1
D3	WATER DETAILS 2
D4	MISCELLANEOUS DEATAILS
D5	EASEMENT CONDITIONS 1
D6	EASEMENT CONDITIONS 2



811 or 888-721-7877  
www.sc811.com

**NOTICE TO CONTRACTOR**

PRIOR TO CONSTRUCTION, DIGGING, OR EXCAVATION THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES (PUBLIC OR PRIVATE) THAT MAY EXIST AND CROSS THROUGH THE AREA(S) OF CONSTRUCTION, WHETHER INDICATED ON THE PLANS OR NOT. CALL "811" OR 1-888-721-7877 A MINIMUM OF 72 HOURS PRIOR TO DIGGING OR EXCAVATING. REPAIRS TO ANY UTILITY DAMAGED RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.



REV RECORD:			REV RECORD:		
BY	DATE	DESCRIPTION	BY	DATE	DESCRIPTION

ISSUED RECORD:		
BY	DATE	DESCRIPTION

PROFESSIONAL SEAL

1320 Main Street, Suite 400  
 Columbia, SC 29201  
 (803) 798-4261  
 www.wkdickson.com  
**WK DICKSON**  
 community infrastructure consultants  
 Transportation + Water Resources  
 Urban Development + Geomatics  
 WKD PROJ.: 20190471.00.CA  
 PROJ. ORIGIN DATE: AUG 2012  
 P.M.: BCW  
 PRN.: TAM  
**FOR BID**  
 DRAWING TITLE: COVER  
 DRAWING NUMBER: G1  
 PLOT DATE: 1/13/2021



THE MATERIALS SHOWN ON THIS DRAWING ARE TO BE USED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION AND THE SOUTH CAROLINA DEPARTMENT OF HIGHWAYS. THE MATERIALS SHOWN ON THIS DRAWING ARE TO BE USED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION AND THE SOUTH CAROLINA DEPARTMENT OF HIGHWAYS.

EXISTING:	NEW:	
		NEW AIR RELEASE VALVE
		NEW FLUSHING ASSEMBLY (LAYOUT VARIES)
		NEW FIRE HYDRANT ASSEMBLY
		NEW BUTTERFLY VALVE
		NEW SERVICE CONNECTION
		NEW GATE VALVE
		NEW CITY OF COLUMBIA EASEMENT BOUNDARY
		NEW SCDOT ROW
		NEW 42-INCH OR 24-INCH WATER MAIN
		NEW RESTRAINED JOINT PIPE
		NEW STEEL CASING
		NEW HORIZONTAL DIRECTIONAL DRILLED PIPE
		TEMPORARY SILT FENCE
		TEMPORARY DOUBLE ROW SILT FENCE
		LIMITS OF DISTURBANCE

**SCDHEC EROSION AND SEDIMENT CONTROL NOTES:**

- IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
- CONTRACTOR MAY HAVE TO INSTALL ADDITIONAL SILT FENCE OR BMP AS DEEMED NECESSARY BY CONTRACTOR, RICHLAND COUNTY, OWNER OR ENGINEER.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW:
  - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
  - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
- RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR100000.
- TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
- ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
- LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
- MINIMIZE TOPSOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE;
  - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;
  - WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS;
  - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
  - SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
- AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
- IF EXISTING BMPS NEED TO BE MODIFIED OR IF ADDITIONAL BMPS ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPS MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
- A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.
- STOCKPILE TRENCH SPOILS TO BE PLACED ADJACENT TO DITCH AS SHOWN ON TYPICAL TRENCH EXCAVATION STOCKPILE DETAIL. CONTRACTOR TO BACK FILL TRENCH AFTER THE WATER MAIN IS INSTALLED.

**SURVEY NOTES:**

- PROPERTY INFORMATION AND BOUNDARY SURVEY PLAT W.K. DICKSON & CO., INC. ORIGINALLY SURVEYED 2012, PARTIALLY UPDATED JANUARY 2020.
- SURVEY SHOWS NATURAL AND MANMADE FEATURES THAT ARE VISIBLE AND APPARENT WITHIN THE LIMITS OF THE SURVEY, INCLUDING BUT NOT LIMITED TO ABOVE GROUND UTILITIES.
- SURVEY DATUM:
  - NAVD88 (VERTICAL)
  - NAD83 2012 (HORIZONTAL)
- CONTROL MONUMENT:
  - BM 4 SCDOT
  - NORTHING: 858956.7727
  - EASTING: 2015643.8261
  - ELEV: 435.41'
- CONTRACTOR TO VERIFY LOCATION & ELEVATIONS OF ALL EXISTING UTILITIES & STRUCTURES WITHIN THE PROJECT PATH PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OR ADDITIONAL CONFLICTING UTILITIES ARE FOUND.
- OTHER UTILITY CROSSINGS MAY EXIST THAT ARE NOT SHOWN ON THIS PLAN. ANY DAMAGE TO EXISTING UNDERGROUND UTILITIES OR UTILITIES ADJACENT TO THE PROJECT PATH INCURRED DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS TO BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

**EROSION CONTROL SEQUENCE OF CONSTRUCTION**

- RECEIVE NPDES COVERAGE FROM SCDHEC AND/OR LOCAL MS4.
- CONDUCT ON-SITE PRE-CONSTRUCTION MEETING.
- NOTIFY SCDHEC EQC REGIONAL EQC OFFICE 48 HOURS PRIOR TO BEGINNING LAND DISTURBANCE ACTIVITIES. MAY ALSO REQUIRE LOCAL REGULATORY NOTIFICATION.
- INSTALL TEMPORARY CONSTRUCTION ENTRANCES BEFORE LAND DISTURBING ACTIVITIES.
- INSTALL TEMPORARY EROSION CONTROLS (SILT FENCE).
- BEGIN PERFORMING SCDHEC SWPPP INSPECTIONS AT BEGINNING OF LAND DISTURBING ACTIVITIES AND CONTINUE UNTIL SITE IS PERMANENTLY STABILIZED.
- CONDUCT THE WATER MAIN PIPE AND STRUCTURE INSTALLATIONS. LIMIT THE AMOUNT OF EXPOSED SOIL BY INITIATING STABILIZATION MEASURES AS CONSTRUCTION PROGRESSES.
- AFTER CONSTRUCTION IS COMPLETE OF WATER MAIN PIPE AND STRUCTURES, BEGIN STABILIZATION BY PREPARING PROPER SEEDBED AND BEGIN PERMANENT GRASSING.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER AREA THAT IS DISTURBED DURING STRUCTURE INSTALLATION IS STABILIZED.
- UPON COMPLETION OF THE PROJECT AND STABILIZATION OF THE DISTURBED AREAS, REMOVE ALL REMAINING TEMPORARY EROSION CONTROL MEASURES AND RE-STABILIZE AREA WITH PERMANENT GRASSING WHERE TEMPORARY EROSION CONTROLS WERE REMOVED.
- SUBMIT NOTICE OF TERMINATION (NOT) TO SCDHEC ONCE THE SITE ACHIEVES A 70% UNIFORM STABILIZATION ACROSS THE ENTIRE PROJECT (BY ENGINEER).

**14 DAY STABILIZATION CLAUSE**

ALL DISTURBED AREAS WHICH ARE TO BE LEFT IDLE FOR A PERIOD OF 14 DAYS OR LONGER ARE TO RECEIVE TEMPORARY VEGETATION OR MULCH.

**EROSION CONTROL MAINTENANCE SCHEDULE**

ALL SEDIMENT AND EROSION CONTROLS ARE TO BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS. CONTRACTOR TO DOCUMENT WITH SCDHEC APPROVED INSPECTION REPORTS AND LOGGED IN THE PROJECT SWPPP.

**SEEDING SCHEDULE:**

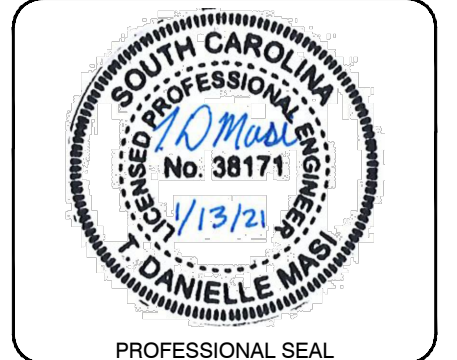
-(SEE SEEDING SPECIFICATIONS FOR FURTHER DETAIL)		
<b>FROM MAY 1 - AUGUST 31</b>	<b>FROM SEPT. 1 - APRIL 30</b>	
1 LB. BROWN TOP MILLET	2 LBS. ANNUAL RYE GRASS	
1 LB. HULLED BERMUDA	0.5 LB. HULLED BERMUDA	
25 LBS. 10-10-10 FERTILIZER	1.5 LBS. UNHULLED BERMUDA	
75 LBS. LIMESTONE	25 LBS. 10-10-10 FERTILIZER	
OR	75 LBS. LIMESTONE	
1 LB. BROWN TOP MILLET	OR	
1 LB. HULLED BERMUDA	2 LBS. ANNUAL RYE GRASS	
*2 LBS. BAHIA GRASS	0.5 LB. HULLED BERMUDA	
25 LBS. 10-10-10 FERTILIZER	1 LB. UNHULLED BERMUDA	
75 LBS. LIMESTONE	*2 LBS. BAHIA GRASS	
DEEP SANDY SOILS	25 LBS. 10-10-10 FERTILIZER	
2 LBS. BROWN TOP MILLET	75 LBS. LIMESTONE	
*3 LBS. BAHIA GRASS	OR	
25 LBS. 10-10-10 FERTILIZER	1 LB. ANNUAL RYE GRASS	
75 LBS. LIMESTONE	**3 LBS. FESCUE GRASS	
OR	25 LBS. 10-10-10 FERTILIZER	
DEEP SANDY SOILS	75 LBS. LIMESTONE	
1 LB. UNHULLED BERMUDA		
2 LBS. RYE GRASS OR 2 LBS. GRAIN RYE		
*2 LBS. BAHIA GRASS		
25 LBS. 10-10-10 FERTILIZER		
75 LBS. LIMESTONE		

\* BAHIA GRASS IS A GOOD EROSION CONTROL GRASS; HOWEVER, IT PRODUCES MANY SEED HEADS WHICH SCATTER TO OTHER AREAS. BAHIA GRASS IS HARD TO MOW, BUT IT DOES NOT REQUIRE THE CARE THAT OTHER GRASSES REQUIRE. AROUND OFFICE BUILDINGS AND WITHIN SUBDIVISIONS, USE 4 TO 6 OUNCES OF CENTIPEDE GRASS IN LIEU OF BAHIA GRASS OR IN COMBINATION WITH BERMUDA GRASS.

\*\* FOR SOILS WITH CLAY SUBSOIL. DO NOT PLANT IN SANDY SOILS.

**WK DICKSON**  
community infrastructure consultants

1320 MAIN STREET  
SUITE 400  
COLUMBIA, SC 29201  
(71)803-786-4261  
(71)803-786-4263  
WWW.WKDICKSON.COM



NO.	DATE	DESCRIPTION	BY

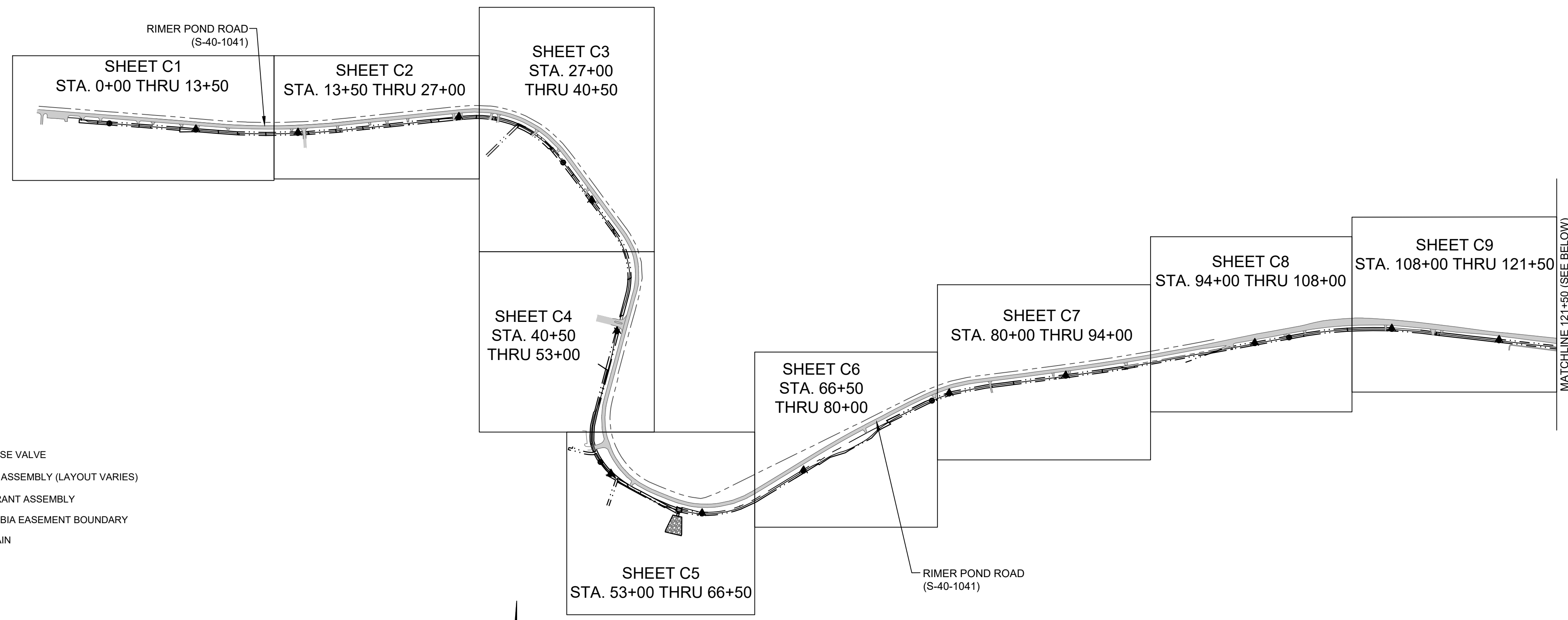
**DRAWING STATUS - FOR BID**

PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMMER POND AND HARD SCRABBLE ROADS  
FOR  
CITY OF COLUMBIA  
RICHLAND COUNTY, SOUTH CAROLINA

DRAWING TITLE: PROJECT NOTES

PROJ. MGR.: BCW  
DESIGN BY: SMH / TDM  
DRAWN BY: TDM  
PROJ. DATE: 1/13/2021  
DRAWING NUMBER:  
**G2**  
WKD PROJ. NO.:  
20190471.00.CA



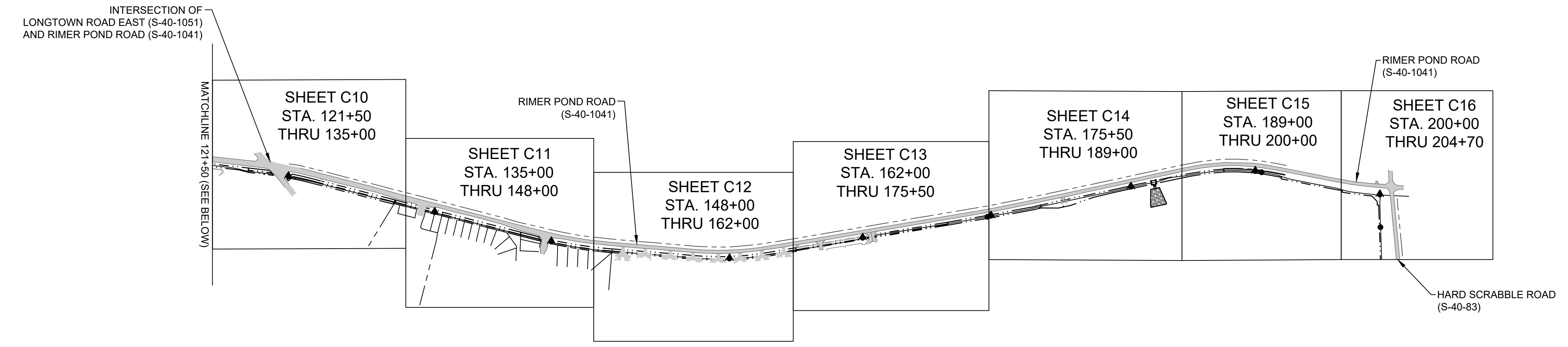


**SHEET INDEX LEGEND:**

- NEW AIR RELEASE VALVE
- ▣ NEW FLUSHING ASSEMBLY (LAYOUT VARIES)
- ▲ NEW FIRE HYDRANT ASSEMBLY
- - - CITY OF COLUMBIA EASEMENT BOUNDARY
- NEW WATER MAIN

NOTE: AIR RELEASE VALVES, FLUSHING ASSEMBLIES AND FIRE HYDRANT ASSEMBLIES NOT SHOWN TO SCALE. THEY ARE SHOWN ON THE SHEET INDEX FOR AN OVERALL VIEW. FOR SPECIFIC STATIONS, SIZING, LAYOUT AND FITTINGS SEE PLAN SHEETS AND DETAILS.

RIMER POND ROAD SHEET LAYOUT  
SHEET C1 THRU SHEET C9  
SCALE=1:500



RIMER POND ROAD SHEET LAYOUT  
SHEET C10 THRU SHEET C16  
SCALE=1:500

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(t)803-786-4261  
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WWW.WKDICKSON.COM



NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMER POND AND HARD SCRABBLE ROADS FOR THE CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA

DRAWING TITLE: 42-INCH WM SHEET INDEX

PROJ. MGR.: BCW  
DESIGN BY: TDM  
DRAWN BY: TDM  
PROJ. DATE: DEC 2019  
DRAWING NUMBER: **G3**  
WKD PROJ. NO.: 20190471.00.CA

**South Carolina 811**  
Call 811 Before You Dig  
811 or 888-721-7877  
www.sc811.com





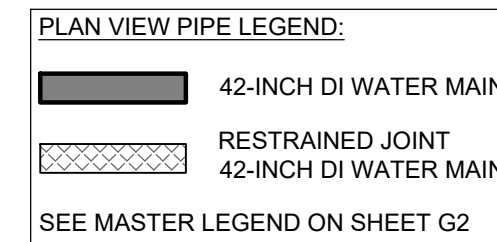




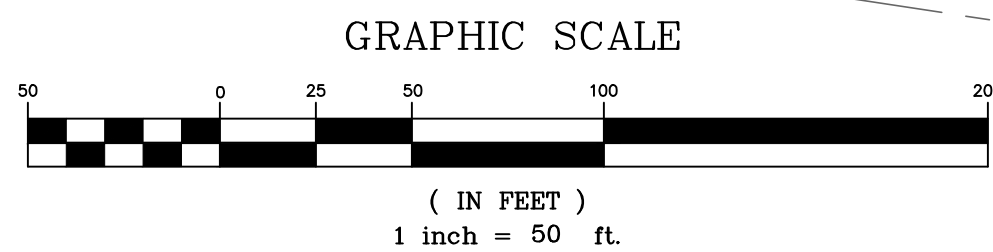
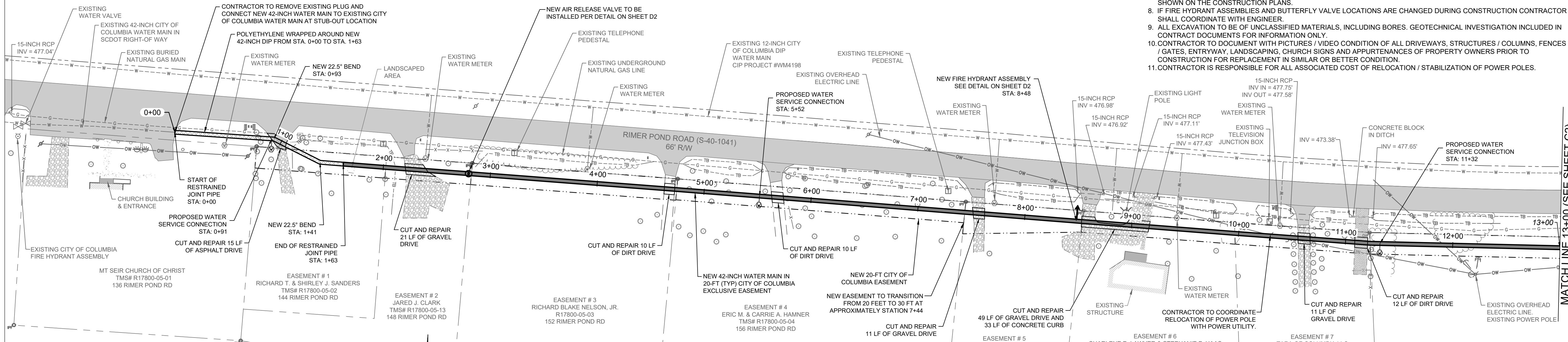
811 or 888-721-7877  
www.sc811.com

ESTIMATED CLEARING BETWEEN STA: 11+27 AND 12+18 ~ 0.02 ACRE

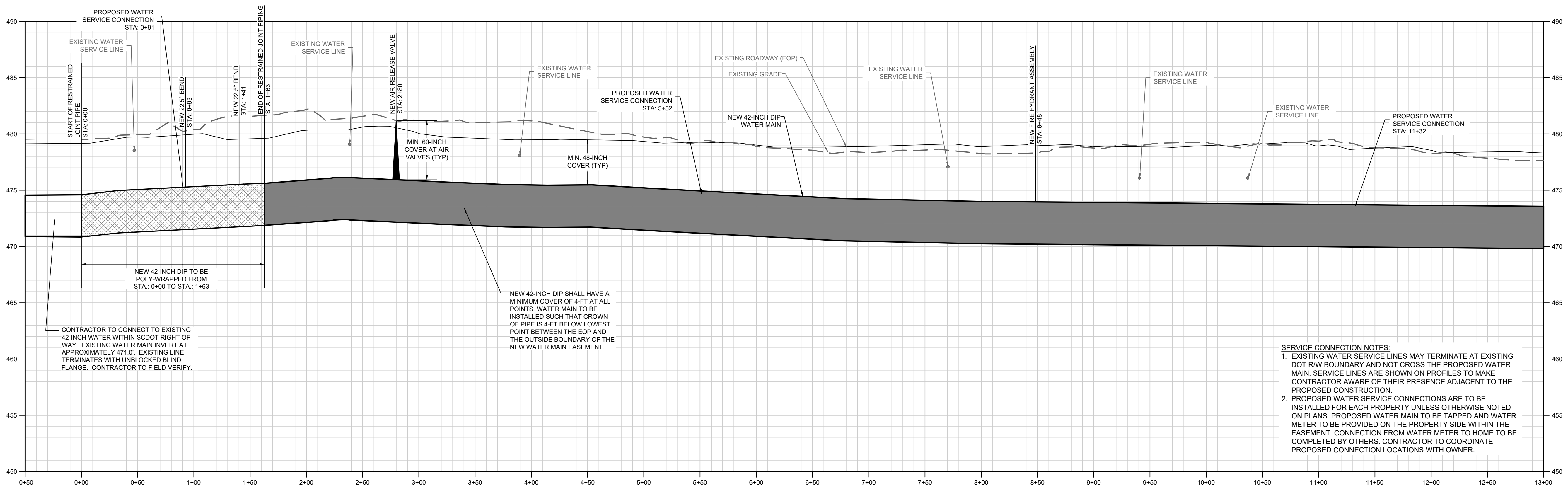
- EASEMENT NOTES:**
- CONTRACTOR TO REVIEW ALL FINAL EASEMENT DOCUMENTS PRIOR TO START OF CONSTRUCTION.
  - CONTRACTOR RESPONSIBLE FOR EXECUTION OF ALL CONDITIONS INCLUDED IN THE RECORDED EASEMENT DOCUMENTS.
  - SEE TABLE SHOWING PROPERTIES WITH EASEMENT CONDITIONS ON SHEET D5 AND D6, INCLUDING PROPERTIES:
    - TMS# R17800-05-03
    - TMS# R17800-05-06
    - TMS# R17800-05-07
    - TMS# R17800-05-15
- THIS TABLE IS PROVIDED FOR REFERENCE BUT CONTRACTOR SHALL REVIEW AND COMPLETE ALL CONDITIONS INCLUDED IN ACTUAL EASEMENT DOCUMENTS THEMSELVES.



- NOTES:**
- CONTRACTOR TO CLEAR TREES AND BRUSH WITHIN PROPOSED CITY OF COLUMBIA EASEMENT UNLESS OTHERWISE SPECIFIED ON THE CONSTRUCTION PLANS OR IN AREAS MARKED AS WETLANDS.
  - ALL DRIVEWAYS TO BE CUT AND REPAIRED TO PRE-CONSTRUCTION CONDITION. CONTRACTOR TO COORDINATE WITH PROPERTY OWNERS TO ENSURE ACCESS TO PROPERTY DURING CONSTRUCTION.
  - CONTRACTOR TO DEFLECT WATER MAIN UP TO MANUFACTURERS SPECIFICATION AT PIPE JOINTS TO ENSURE WATER MAIN REMAINS CENTERED IN PROPOSED EASEMENT UNLESS OTHERWISE SPECIFIED ON CONSTRUCTION PLANS. WATER MAIN TO BE TYPICALLY INSTALLED 10 FEET FROM SCDDOT RIGHT-OF-WAY UNLESS OTHERWISE SPECIFIED ON CONSTRUCTION PLANS.
  - CONNECTIONS AND DEPTHS OF EXISTING SERVICE LINES TO BE FIELD VERIFIED BY CONTRACTOR.
  - LOCATION AND DEPTHS OF GAS LINE CROSSINGS TO BE FIELD VERIFIED BY CONTRACTOR. ENGINEER TO BE NOTIFIED IF PROPOSED WATER MAIN DEPTH IS LESS THAN 18-INCHES OF SEPARATION FROM GAS LINE.
  - RESTRAINED JOINT LENGTH OR STATIONS CALLED OUT ON PLANS ARE MINIMUM LENGTHS. RESTRAINED JOINT GASKETS SHALL BE INSTALLED TO THE NEXT PIPE JOINT BEYOND THESE MINIMUM LENGTHS.
  - CONTRACTOR SHALL INSTALL RESTRAINED JOINT PIPE TO EXTEND AT LEAST ONE (1) PIPE LENGTH ON BOTH SIDES OF TEES INSTALLED ON THE MAIN LINE. TEES ADJACENT TO INLINE VALVES OR OTHER FITTINGS SHALL BE RESTRAINED AS SHOWN ON THE CONSTRUCTION PLANS.
  - IF FIRE HYDRANT ASSEMBLIES AND BUTTERFLY VALVE LOCATIONS ARE CHANGED DURING CONSTRUCTION CONTRACTOR SHALL COORDINATE WITH ENGINEER.
  - ALL EXCAVATION TO BE OF UNCLASSIFIED MATERIALS, INCLUDING BORES. GEOTECHNICAL INVESTIGATION INCLUDED IN CONTRACT DOCUMENTS FOR INFORMATION ONLY.
  - CONTRACTOR TO DOCUMENT WITH PICTURES / VIDEO CONDITION OF ALL DRIVEWAYS, STRUCTURES / COLUMNS, FENCES / GATES, ENTRYWAY, LANDSCAPING, CHURCH SIGNS AND APPURTENANCES OF PROPERTY OWNERS PRIOR TO CONSTRUCTION FOR REPLACEMENT IN SIMILAR OR BETTER CONDITION.
  - CONTRACTOR IS RESPONSIBLE FOR ALL ASSOCIATED COST OF RELOCATION / STABILIZATION OF POWER POLES.



PLAN VIEW  
STA. 0+00 THRU 13+00



PROFILE  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

- SERVICE CONNECTION NOTES:**
- EXISTING WATER SERVICE LINES MAY TERMINATE AT EXISTING DOT R/W BOUNDARY AND NOT CROSS THE PROPOSED WATER MAIN. SERVICE LINES ARE SHOWN ON PROFILES TO MAKE CONTRACTOR AWARE OF THEIR PRESENCE ADJACENT TO THE PROPOSED CONSTRUCTION.
  - PROPOSED WATER SERVICE CONNECTIONS ARE TO BE INSTALLED FOR EACH PROPERTY UNLESS OTHERWISE NOTED ON PLANS. PROPOSED WATER MAIN TO BE TAPPED AND WATER METER TO BE PROVIDED ON THE PROPERTY SIDE WITHIN THE EASEMENT. CONNECTION FROM WATER METER TO HOME TO BE COMPLETED BY OTHERS. CONTRACTOR TO COORDINATE PROPOSED CONNECTION LOCATIONS WITH OWNER.

**WK DICKSON**  
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**SOUTH CAROLINA PROFESSIONAL SEAL**  
No. 38171  
1/13/21  
DANIELLE M. BROWN  
PROFESSIONAL SEAL

**SOUTH CAROLINA CERTIFICATE OF AUTHORITY**  
W. K. DICKSON & COMPANY, INC.  
No. C00117

**CITY OF COLUMBIA, S.C.**  
We Are Columbia

NO.	DATE	DESCRIPTION	BY

DRAWING STATUS - FOR BID

PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMER POND AND HARD SCRABBLE ROADS FOR CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA

DRAWING TITLE: 42-INCH WM PLAN & PROFILE - STA. 0+00 THRU 13+00

PROJ. MGR.: BCW  
DESIGN BY: SMH / TDM  
DRAWN BY: TDM  
PROJ. DATE: 1/13/2021  
DRAWING NUMBER: **C1**  
WKD PROJ. NO.: 20190471.00.CA

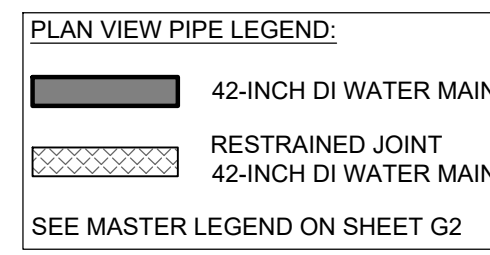


**NOTES:**

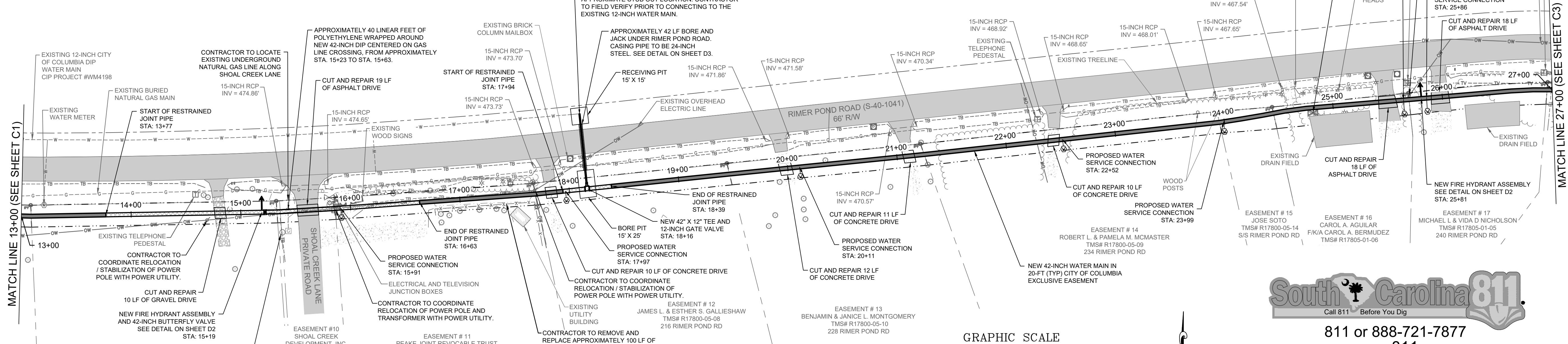
- CONTRACTOR TO CLEAR TREES AND BRUSH WITHIN PROPOSED CITY OF COLUMBIA EASEMENT UNLESS OTHERWISE SPECIFIED ON THE CONSTRUCTION PLANS OR IN AREAS MARKED AS WETLANDS.
- ALL DRIVEWAYS TO BE CUT AND REPAIRED TO PRE-CONSTRUCTION CONDITION. CONTRACTOR TO COORDINATE WITH PROPERTY OWNERS TO ENSURE ACCESS TO PROPERTY DURING CONSTRUCTION.
- CONTRACTOR TO DEFLECT WATER MAIN UP TO MANUFACTURER'S SPECIFICATION AT PIPE JOINTS TO ENSURE WATER MAIN REMAINS CENTERED IN PROPOSED EASEMENT UNLESS OTHERWISE SPECIFIED ON CONSTRUCTION PLANS. WATER MAIN TO BE TYPICALLY INSTALLED 10 FEET FROM SDDOT RIGHT-OF-WAY UNLESS OTHERWISE SPECIFIED ON CONSTRUCTION PLANS.
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- LOCATION AND DEPTHS OF GAS LINE CROSSINGS TO BE FIELD VERIFIED BY CONTRACTOR. ENGINEER TO BE NOTIFIED IF PROPOSED WATER MAIN DEPTH IS LESS THAN 18-INCHES OF SEPARATION FROM GAS LINE.
- RESTRAINED JOINT LENGTH OR STATIONS CALLED OUT ON PLANS ARE MINIMUM LENGTHS. RESTRAINED JOINT GASKETS SHALL BE INSTALLED TO THE NEXT PIPE JOINT BEYOND THESE MINIMUM LENGTHS.
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- CONTRACTOR IS RESPONSIBLE FOR ALL ASSOCIATED COST OF RELOCATION / STABILIZATION OF POWER POLES.

**EASEMENT NOTES:**

- CONTRACTOR TO REVIEW ALL FINAL EASEMENT DOCUMENTS PRIOR TO START OF CONSTRUCTION.
  - CONTRACTOR RESPONSIBLE FOR EXECUTION OF ALL CONDITIONS INCLUDED IN THE RECORDED EASEMENT DOCUMENTS.
  - SEE TABLE SHOWING PROPERTIES WITH EASEMENT CONDITIONS ON SHEET D5 AND D6, INCLUDING PROPERTIES:
    - TMS# R1780-01-11
    - TMS# R1780-01-01
    - TMS# R1780-05-08
    - TMS# R1780-05-10
    - TMS# R1780-05-09
    - TMS# R1780-01-06
    - TMS# R1780-01-05
- THIS TABLE IS PROVIDED FOR REFERENCE BUT CONTRACTOR SHALL REVIEW AND COMPLETE ALL CONDITIONS INCLUDED IN ACTUAL EASEMENT DOCUMENTS THEMSELVES.

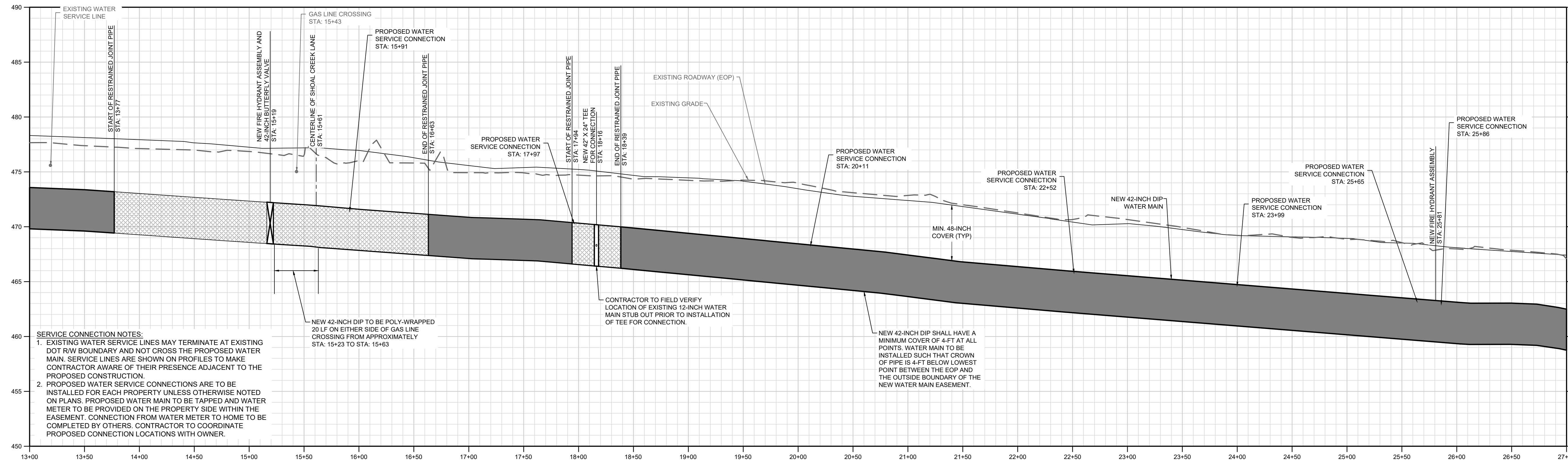


**ESTIMATED CLEARING BETWEEN STA: 21+39 AND 27+00 ~ 0.16 ACRE**



**PLAN VIEW**  
STA. 13+00 THRU 27+00

NOTE: PRIOR TO CONSTRUCTION ACROSS EASEMENT ON TMS# R1780-01-01 CONTRACTOR TO DOCUMENT ALL PLANTING AND SURVEY BERM TO BE RECONSTRUCTED AND PLANTED PER AGREEMENT BETWEEN CITY AND PROPERTY OWNER. BUSHES REMOVED TO BE COUNTED.



**PROFILE**  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

**SERVICE CONNECTION NOTES:**

- EXISTING WATER SERVICE LINES MAY TERMINATE AT EXISTING DOT R/W BOUNDARY AND NOT CROSS THE PROPOSED WATER MAIN. SERVICE LINES ARE SHOWN ON PROFILES TO MAKE CONTRACTOR AWARE OF THEIR PRESENCE ADJACENT TO THE PROPOSED CONSTRUCTION.
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1/13/21  
DANIELLE M. BROWN

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W. K. DICKSON & COMPANY, INC.  
No. C00117

**CITY OF COLUMBIA, S.C.**  
We Are Columbia

NO.	DATE	DESCRIPTION

**DRAWING STATUS - FOR BID**

PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMER POND AND HARD SCRABBLE ROADS FOR CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA

DRAWING TITLE: 42-INCH WM PLAN & PROFILE - STA. 13+00 THRU 27+00

PROJ. MGR.: BCW  
DESIGN BY: SMH / TDM  
DRAWN BY: TDM  
PROJ. DATE: 1/13/2021  
DRAWING NUMBER: **C2**

WKD PROJ. NO.: 20190471.00.CA



ESTIMATED CLEARING BETWEEN STA: 28+12 AND 40+50 ~ 0.24 ACRE

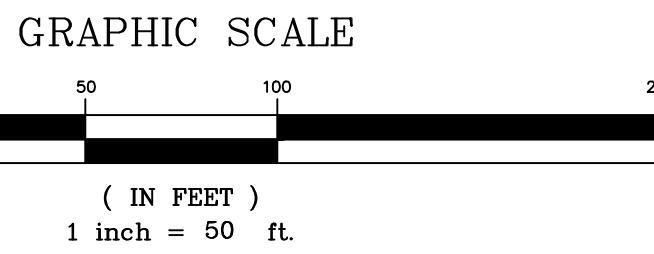
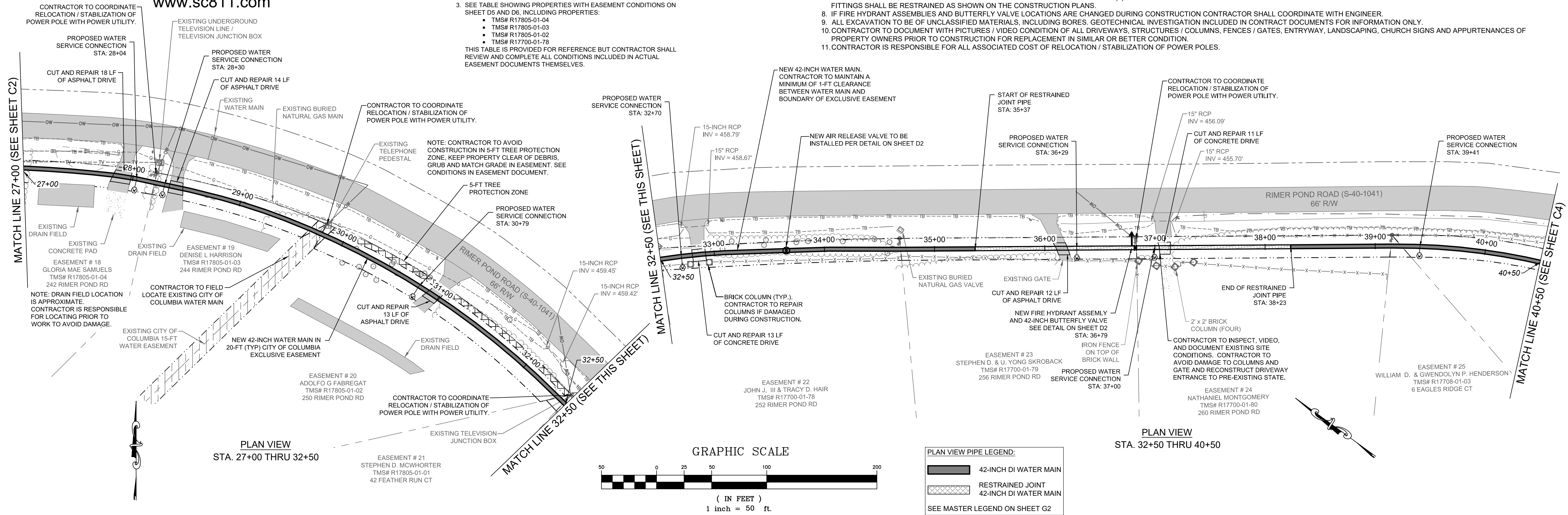
EASEMENT NOTES:

- CONTRACTOR TO REVIEW ALL FINAL EASEMENT DOCUMENTS PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR RESPONSIBLE FOR EXECUTION OF ALL CONDITIONS INCLUDED IN THE RECORDED EASEMENT DOCUMENTS.
- SEE TABLE SHOWING PROPERTIES WITH EASEMENT CONDITIONS ON SHEET D5 AND D6, INCLUDING PROPERTIES:
  - TMS# R17805-01-04
  - TMS# R17805-01-03
  - TMS# R17805-01-02
  - TMS# R17700-01-78

THIS TABLE IS PROVIDED FOR REFERENCE BUT CONTRACTOR SHALL REVIEW AND COMPLETE ALL CONDITIONS INCLUDED IN ACTUAL EASEMENT DOCUMENTS THEMSELVES.

NOTES:

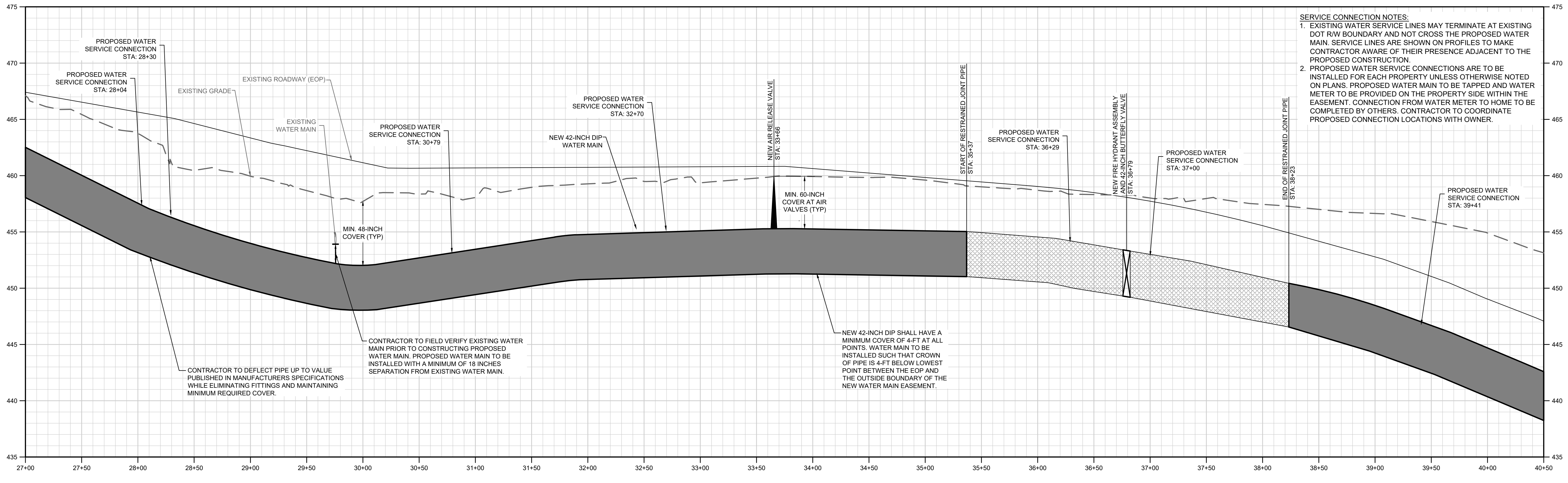
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PLAN VIEW PIPE LEGEND:

	42-INCH DI WATER MAIN
	RESTRAINED JOINT
	42-INCH DI WATER MAIN

SEE MASTER LEGEND ON SHEET G2



- SERVICE CONNECTION NOTES:
- EXISTING WATER SERVICE LINES MAY TERMINATE AT EXISTING DOT R/W BOUNDARY AND NOT CROSS THE PROPOSED WATER MAIN. SERVICE LINES ARE SHOWN ON PROFILES TO MAKE CONTRACTOR AWARE OF THEIR PRESENCE ADJACENT TO THE PROPOSED CONSTRUCTION.
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PROFILE  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

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WWW.WKDICKSON.COM

**SOUTH CAROLINA PROFESSIONAL SEAL**  
No. 38171  
1/13/21  
DAMIELLE M. B.

**SOUTH CAROLINA CERTIFICATE OF AUTHORITY**  
W. K. DICKSON & COMPANY, INC.  
No. 000177

**CITY OF COLUMBIA, S.C.**  
We Are Columbia

NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

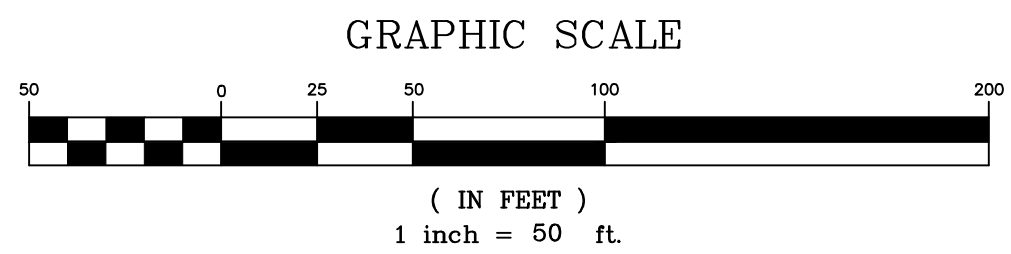
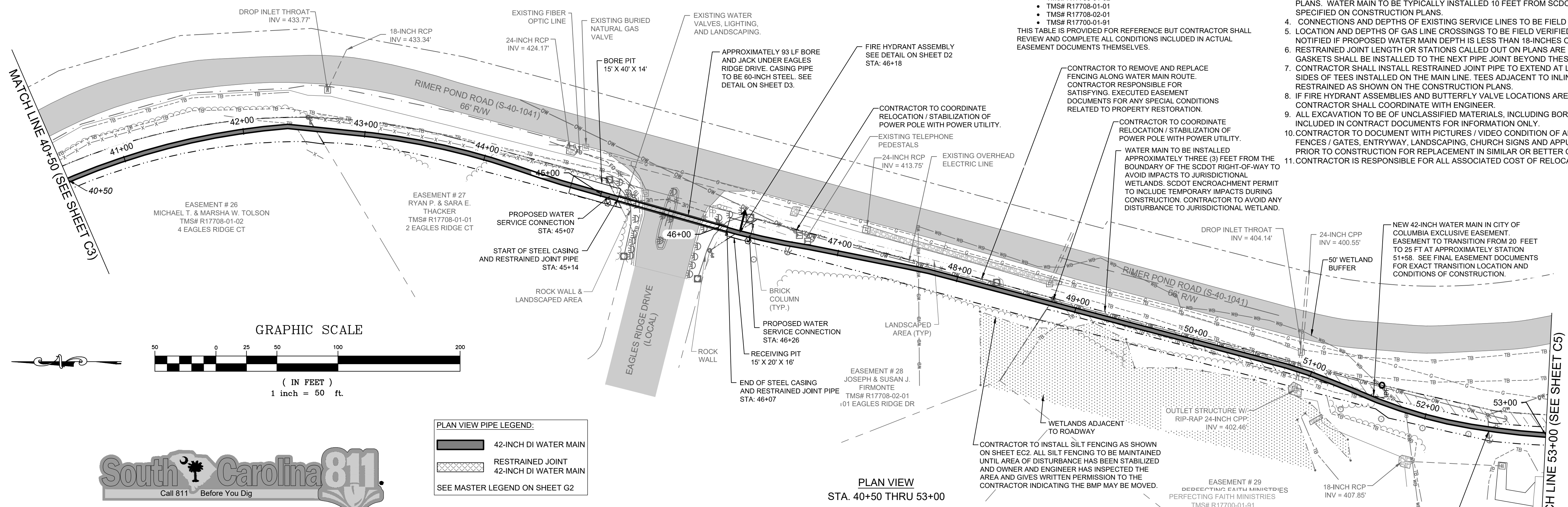
PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMER POND AND HARD SCRABBLE ROADS FOR CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA

DRAWING TITLE: 42-INCH WM PLAN & PROFILE - STA. 27 + 00 THRU 40 + 50

PROJ. MGR.: BCW  
DESIGN BY: SMH / TDM  
DRAWN BY: TDM  
PROJ. DATE: 1/13/2021  
DRAWING NUMBER: **C3**  
WKD PROJ. NO.: 20190471.00.CA



ESTIMATED CLEARING BETWEEN STA: 40+50 AND 45+16 = 0.16 ACRE



811 or 888-721-7877  
www.sc811.com

PLAN VIEW PIPE LEGEND:

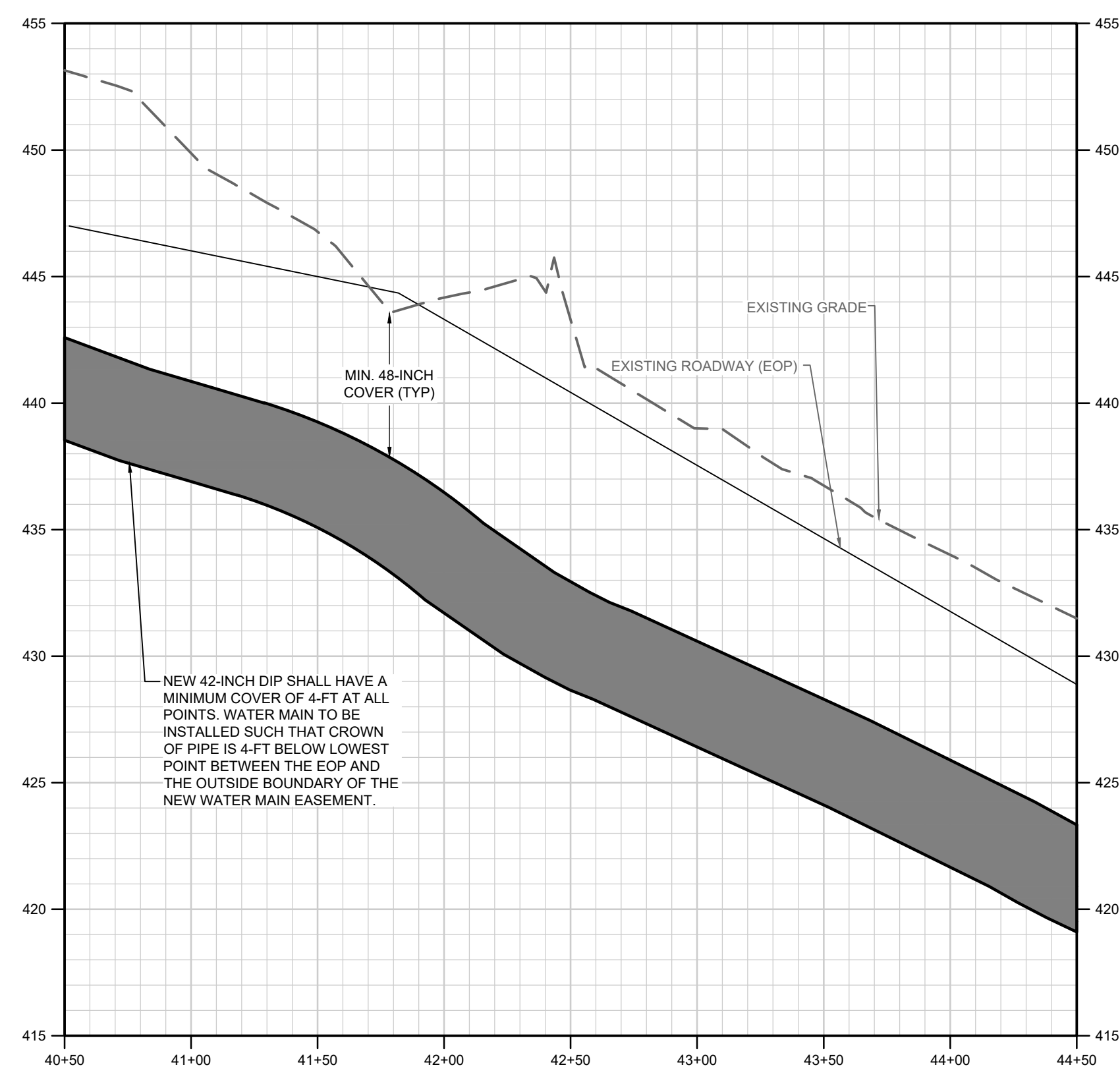
	42-INCH DI WATER MAIN
	RESTRAINED JOINT
	42-INCH DI WATER MAIN

SEE MASTER LEGEND ON SHEET G2

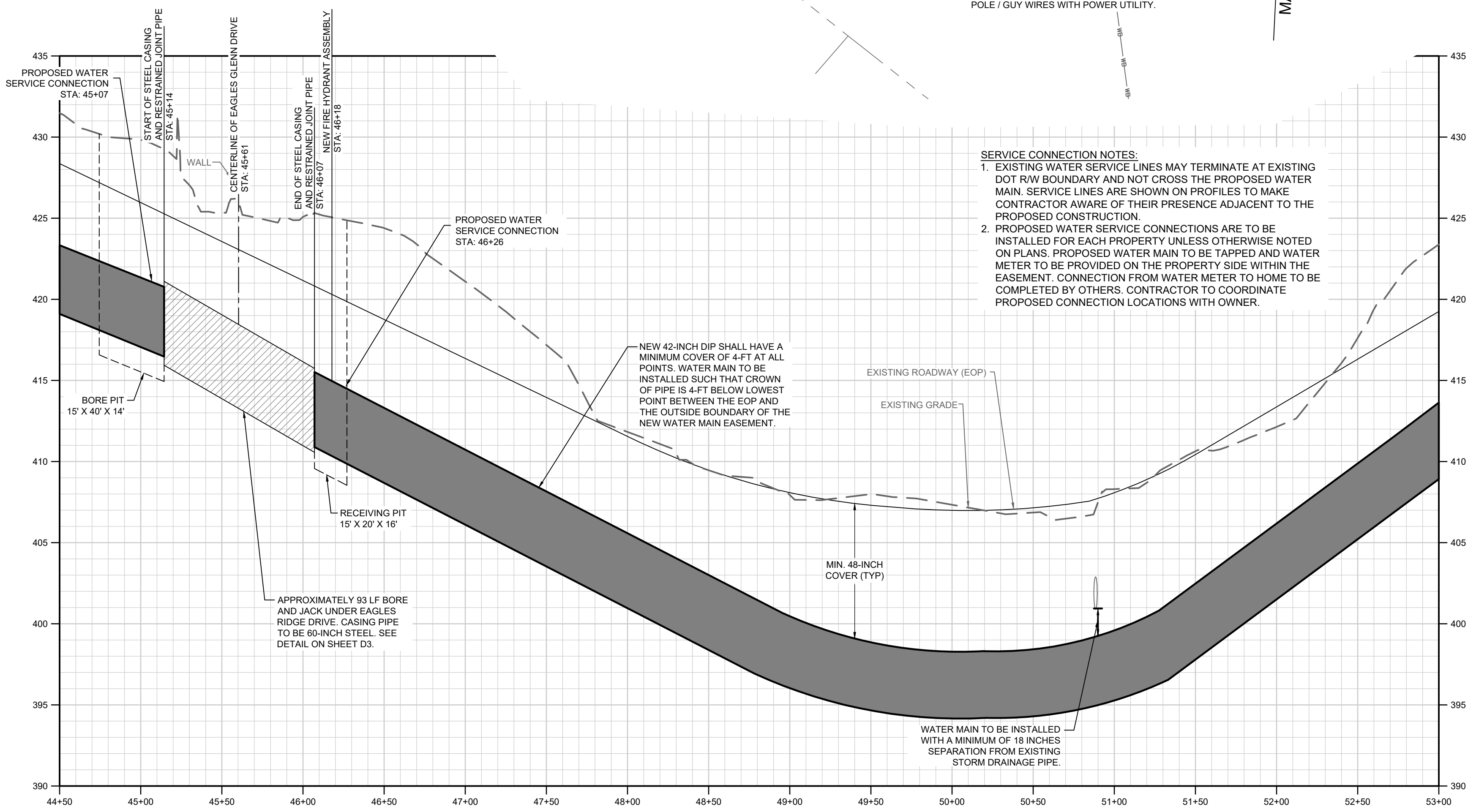
**EASEMENT NOTES:**  
 1. CONTRACTOR TO REVIEW ALL FINAL EASEMENT DOCUMENTS PRIOR TO START OF CONSTRUCTION.  
 2. CONTRACTOR RESPONSIBLE FOR EXECUTION OF ALL CONDITIONS INCLUDED IN THE RECORDED EASEMENT DOCUMENTS.  
 3. SEE TABLE SHOWING PROPERTIES WITH EASEMENT CONDITIONS ON SHEET D5 AND D6, INCLUDING PROPERTIES:  
 • TMS# R17708-01-02  
 • TMS# R17708-01-01  
 • TMS# R17708-02-01  
 • TMS# R17703-01-01  
 THIS TABLE IS PROVIDED FOR REFERENCE BUT CONTRACTOR SHALL REVIEW AND COMPLETE ALL CONDITIONS INCLUDED IN ACTUAL EASEMENT DOCUMENTS THEMSELVES.

**NOTES:**  
 1. CONTRACTOR TO CLEAR TREES AND BRUSH WITHIN PROPOSED CITY OF COLUMBIA EASEMENT UNLESS OTHERWISE SPECIFIED ON THE CONSTRUCTION PLANS OR IN AREAS MARKED AS WETLANDS.  
 2. ALL DRIVEWAYS TO BE CUT AND REPAIRED TO PRE-CONSTRUCTION CONDITION. CONTRACTOR TO COORDINATE WITH PROPERTY OWNERS TO ENSURE ACCESS TO PROPERTY DURING CONSTRUCTION.  
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 11. CONTRACTOR IS RESPONSIBLE FOR ALL ASSOCIATED COST OF RELOCATION / STABILIZATION OF POWER POLES.

PLAN VIEW  
STA. 40+50 THRU 53+00

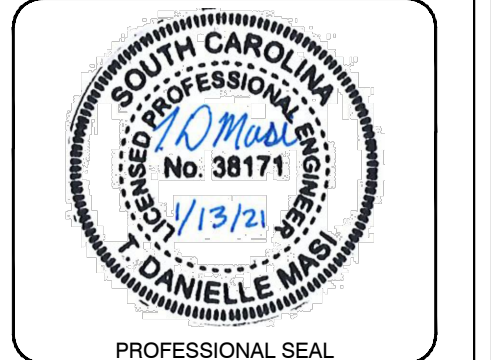


PROFILE  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL



PROFILE  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

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NO.	DATE	DESCRIPTION

DRAWING STATUS - FOR BID

PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMER POND AND HARD SCRABBLE ROADS FOR CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA  
 DRAWING TITLE: 42-INCH WM PLAN & PROFILE - STA. 40+50 THRU 53+00

PROJ. MGR.: BCW  
 DESIGN BY: SMH / TDM  
 DRAWN BY: TDM  
 PROJ. DATE: 1/13/2021  
 DRAWING NUMBER: C4  
 WKD PROJ. NO.: 20190471.00.CA



ESTIMATED CLEARING BETWEEN STA: 55+68 AND 66+50 ~ 0.16 ACRE



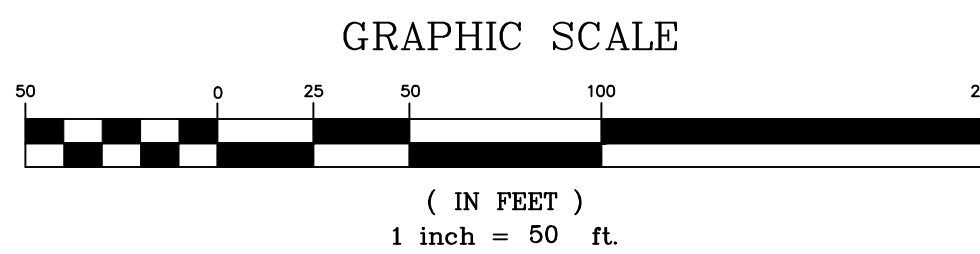
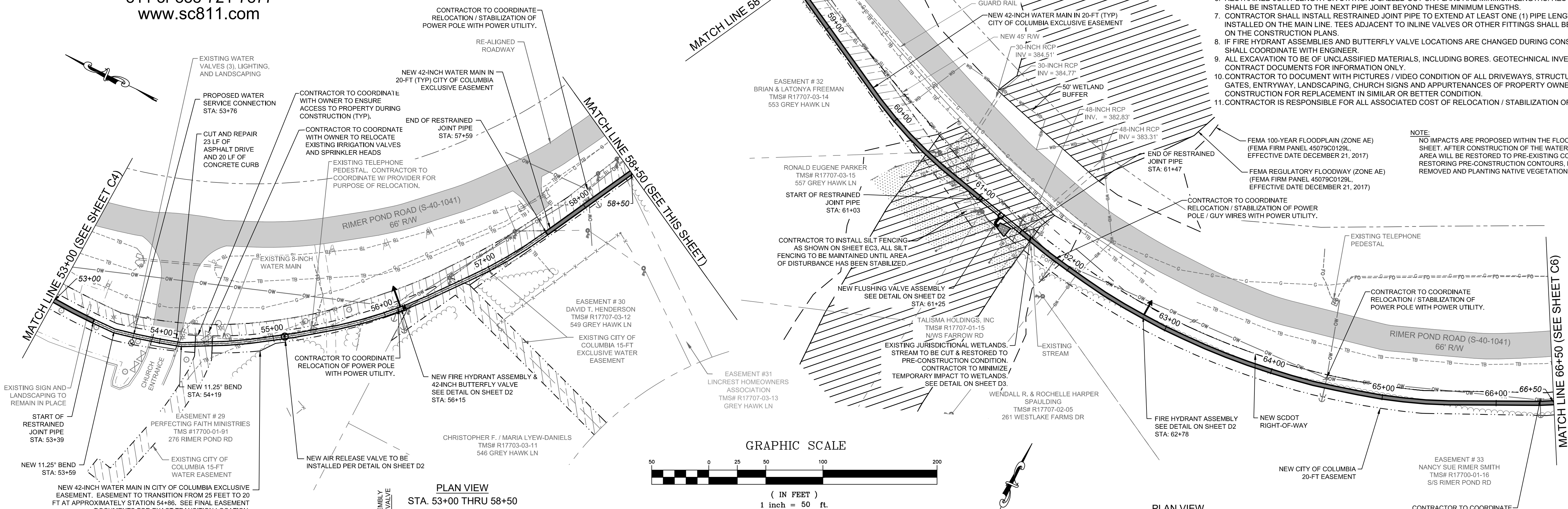
811 or 888-721-7877  
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**EASEMENT NOTES:**  
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3. SEE TABLE SHOWING PROPERTIES WITH EASEMENT CONDITIONS ON SHEET D5 AND D6, INCLUDING PROPERTIES:  
• TMS# R17700-01-91  
THIS TABLE IS PROVIDED FOR REFERENCE BUT CONTRACTOR SHALL REVIEW AND COMPLETE ALL CONDITIONS INCLUDED IN ACTUAL EASEMENT DOCUMENTS THEMSELVES.

**PLAN VIEW PIPE LEGEND:**  
42-INCH DI WATER MAIN  
RESTRAINED JOINT  
42-INCH DI WATER MAIN  
SEE MASTER LEGEND ON SHEET G2

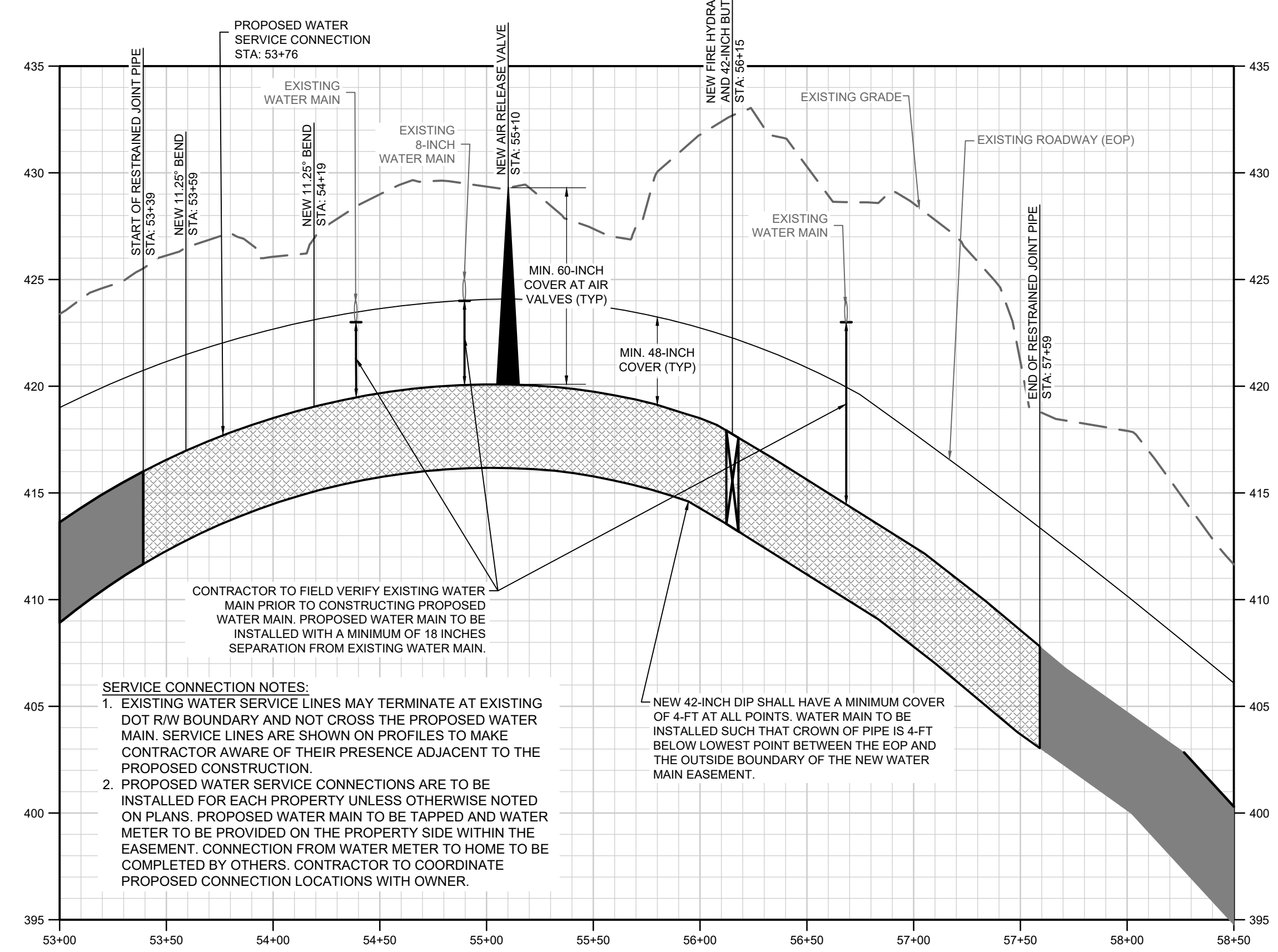
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11. CONTRACTOR IS RESPONSIBLE FOR ALL ASSOCIATED COST OF RELOCATION / STABILIZATION OF POWER POLES.

**NOTE:**  
NO IMPACTS ARE PROPOSED WITHIN THE FLOODPLAIN SHOWN ON THIS SHEET. AFTER CONSTRUCTION OF THE WATER MAIN IN THIS AREA, THE AREA WILL BE RESTORED TO PRE-EXISTING CONDITIONS INCLUDING RESTORING PRE-CONSTRUCTION CONTOURS, BACKFILLING WITH SOIL REMOVED AND PLANTING NATIVE VEGETATION.

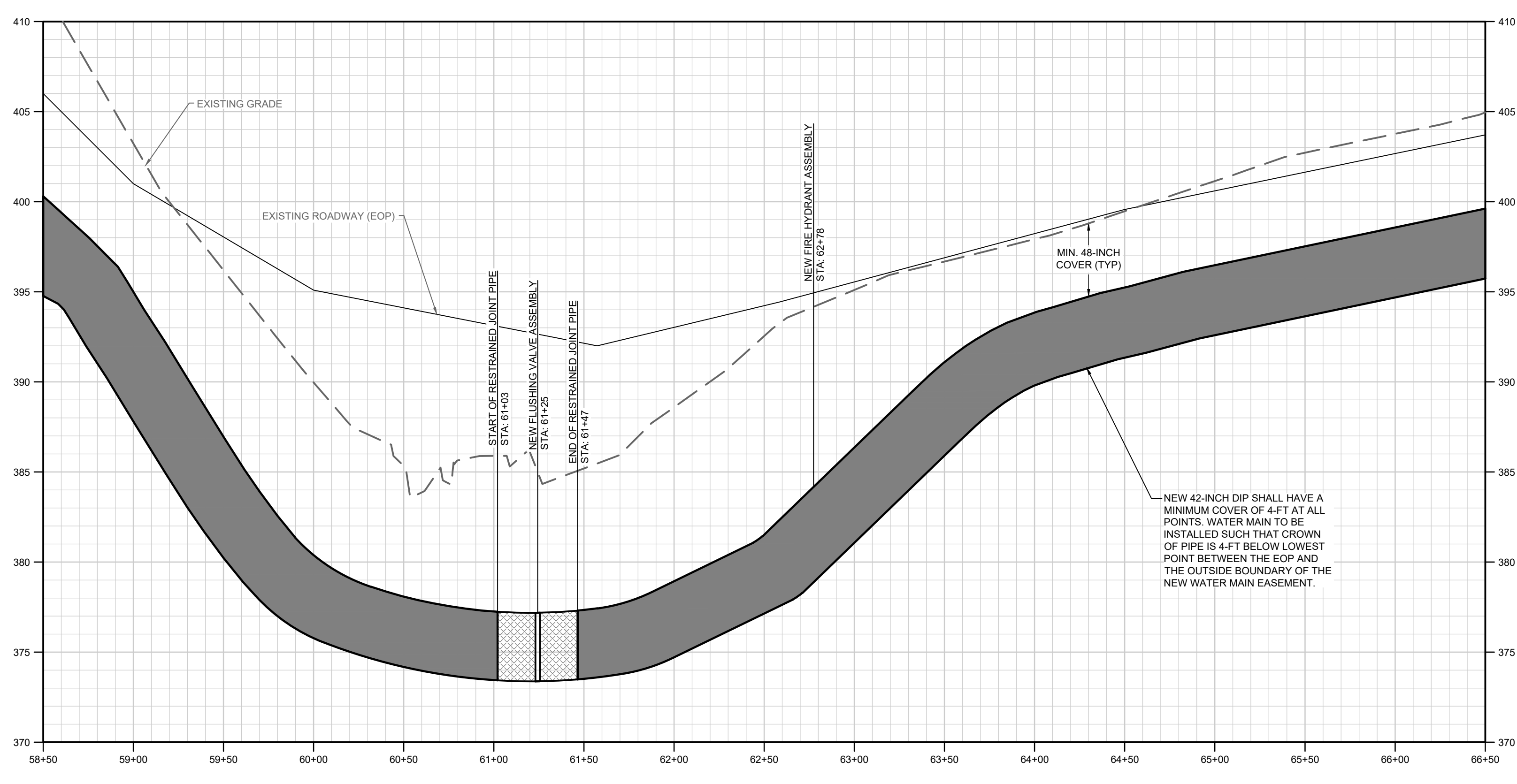


PLAN VIEW  
STA. 53+00 THRU 58+50

PLAN VIEW  
STA. 58+50 THRU 66+50



PROFILE  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL



PROFILE  
SCALE: 1" = 50' HORIZONTAL  
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1/13/2021  
DANIELLE M. BROWN  
PROFESSIONAL SEAL

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No. 000117

**CITY OF COLUMBIA, S.C.**  
We Are Columbia

NO.	REVISION RECORD	DATE	DESCRIPTION

**DRAWING STATUS - FOR BID**

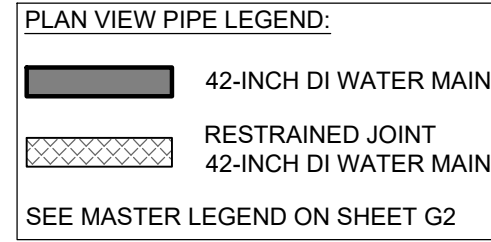
PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMER POND AND HARD SCRABBLE ROADS FOR CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA  
DRAWING TITLE: 42-INCH WM PLAN & PROFILE - STA. 53 + 00 THRU 66 + 50

PROJ. MGR.: BCW  
DESIGN BY: SMH / TDM  
DRAWN BY: TDM  
PROJ. DATE: 1/13/2021  
DRAWING NUMBER: **C5**  
WKD PROJ. NO.: 20190471.00.CA

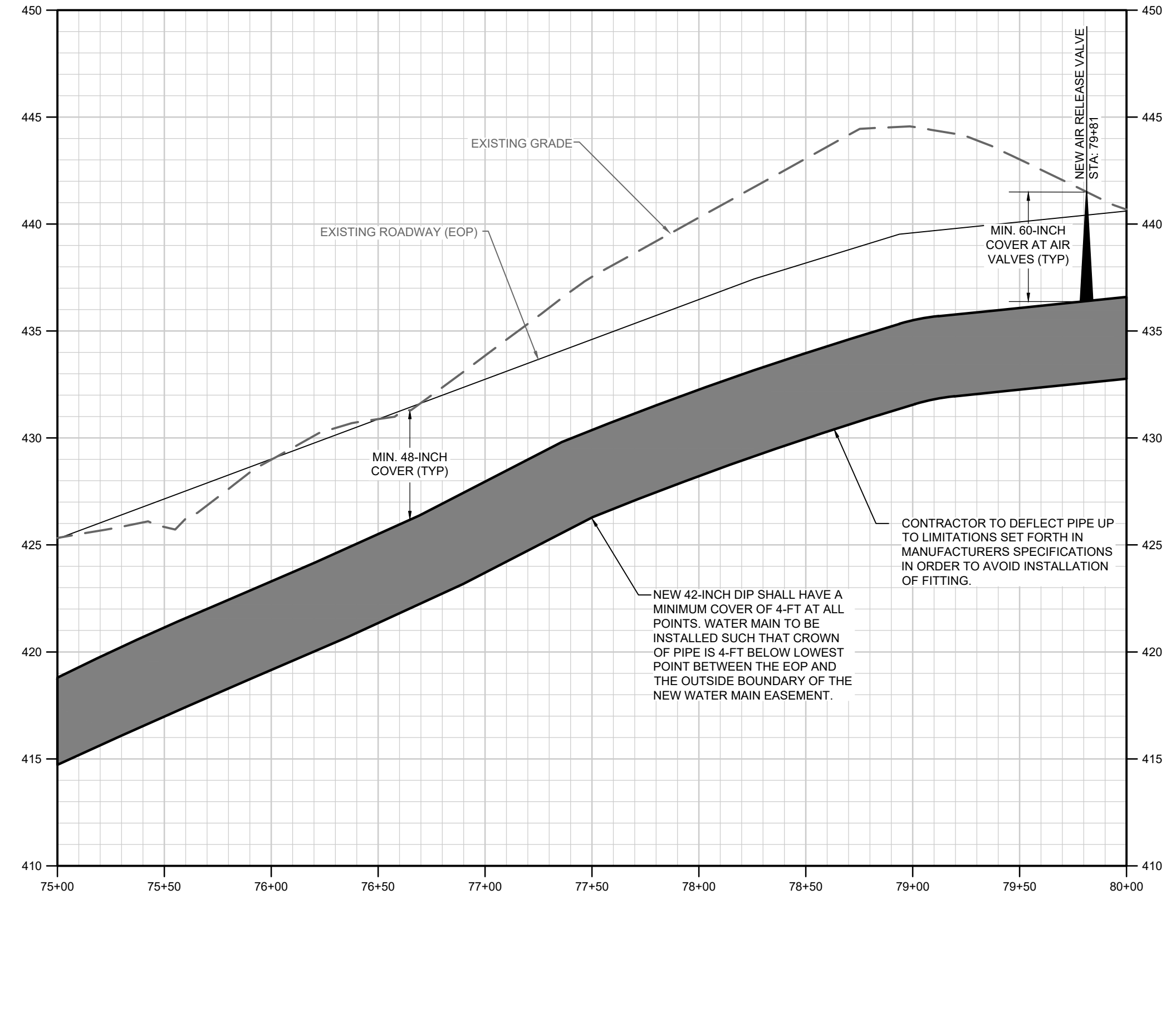
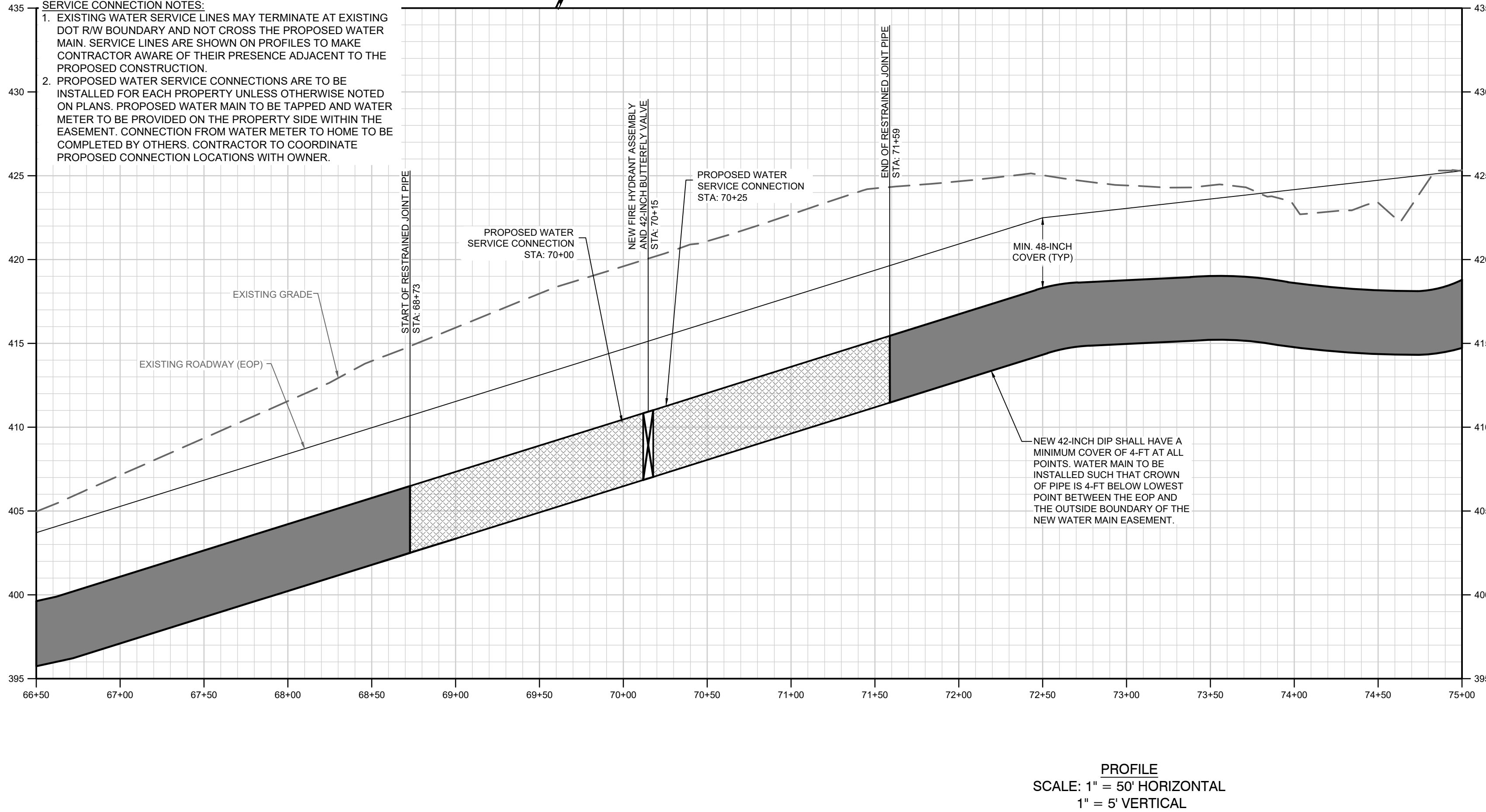
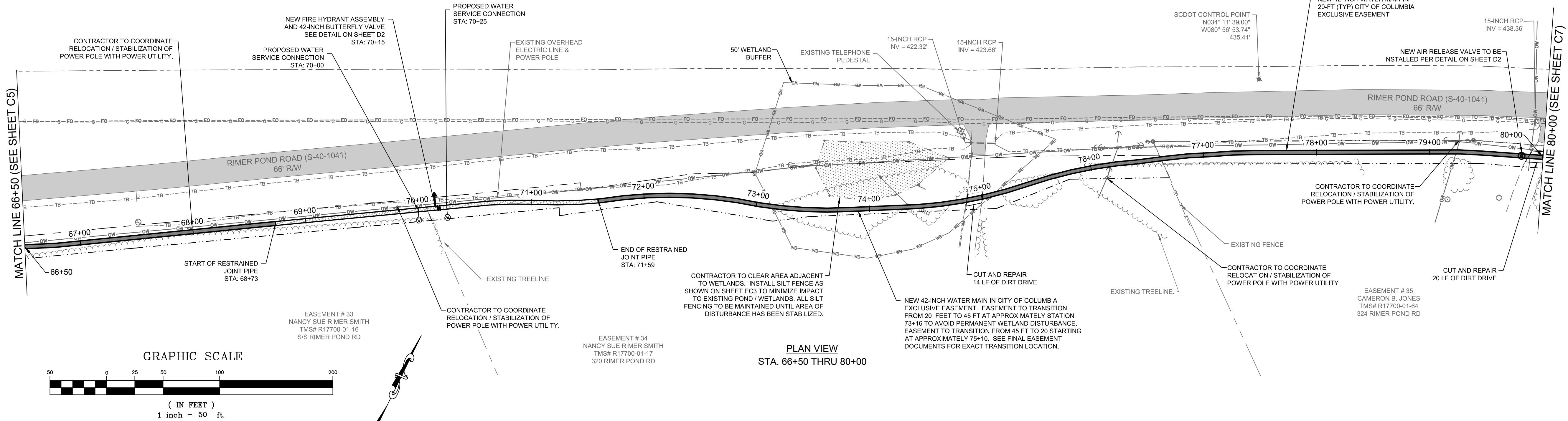


**ESTIMATED CLEARING BETWEEN STA: 66+50 AND 76+61 ~ 0.44 ACRE**

**EASEMENT NOTES:**  
1. CONTRACTOR TO REVIEW ALL FINAL EASEMENT DOCUMENTS PRIOR TO START OF CONSTRUCTION.  
2. CONTRACTOR RESPONSIBLE FOR EXECUTION OF ALL CONDITIONS INCLUDED IN THE RECORDED EASEMENT DOCUMENTS.  
3. SEE TABLE SHOWING PROPERTIES WITH EASEMENT CONDITIONS ON SHEET D5 AND D6, INCLUDING PROPERTIES:  
• TMS# R17700-01-17  
THIS TABLE IS PROVIDED FOR REFERENCE BUT CONTRACTOR SHALL REVIEW AND COMPLETE ALL CONDITIONS INCLUDED IN ACTUAL EASEMENT DOCUMENTS THEMSELVES.



- NOTES:**
- CONTRACTOR TO CLEAR TREES AND BRUSH WITHIN PROPOSED CITY OF COLUMBIA EASEMENT UNLESS OTHERWISE SPECIFIED ON THE CONSTRUCTION PLANS OR IN AREAS MARKED AS WETLANDS.
  - ALL DRIVEWAYS TO BE CUT AND REPAIRED TO PRE-CONSTRUCTION CONDITION. CONTRACTOR TO COORDINATE WITH PROPERTY OWNERS TO ENSURE ACCESS TO PROPERTY DURING CONSTRUCTION.
  - CONTRACTOR TO DEFLECT WATER MAIN UP TO MANUFACTURERS SPECIFICATION AT PIPE JOINTS TO ENSURE WATER MAIN REMAINS CENTERED IN PROPOSED EASEMENT UNLESS OTHERWISE SPECIFIED ON CONSTRUCTION PLANS. WATER MAIN TO BE TYPICALLY INSTALLED 10 FEET FROM SCDOT RIGHT-OF-WAY UNLESS OTHERWISE SPECIFIED ON CONSTRUCTION PLANS.
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  - LOCATION AND DEPTHS OF GAS LINE CROSSINGS TO BE FIELD VERIFIED BY CONTRACTOR. ENGINEER TO BE NOTIFIED IF PROPOSED WATER MAIN DEPTH IS LESS THAN 18-INCHES OF SEPARATION FROM GAS LINE.
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  - CONTRACTOR SHALL INSTALL RESTRAINED JOINT PIPE TO EXTEND AT LEAST ONE (1) PIPE LENGTH ON BOTH SIDES OF TEES INSTALLED ON THE MAIN LINE. TEES ADJACENT TO INLINE VALVES OR OTHER FITTINGS SHALL BE RESTRAINED AS SHOWN ON THE CONSTRUCTION PLANS.
  - IF FIRE HYDRANT ASSEMBLIES AND BUTTERFLY VALVE LOCATIONS ARE CHANGED DURING CONSTRUCTION CONTRACTOR SHALL COORDINATE WITH ENGINEER.
  - ALL EXCAVATION TO BE OF UNCLASSIFIED MATERIALS, INCLUDING BORES. GEOTECHNICAL INVESTIGATION INCLUDED IN CONTRACT DOCUMENTS FOR INFORMATION ONLY.
  - CONTRACTOR TO DOCUMENT WITH PICTURES / VIDEO CONDITION OF ALL DRIVEWAYS, STRUCTURES / COLUMNS, FENCES / GATES, ENTRYWAY, LANDSCAPING, CHURCH SIGNS AND APPURTENANCES OF PROPERTY OWNERS PRIOR TO CONSTRUCTION FOR REPLACEMENT IN SIMILAR OR BETTER CONDITION.
  - CONTRACTOR IS RESPONSIBLE FOR ALL ASSOCIATED COST OF RELOCATION / STABILIZATION OF POWER POLES.



**PROFILE**  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

**WK DICKSON**  
community infrastructure consultants  
1320 MAIN STREET  
SUITE 400  
COLUMBIA, SC 29201  
(803) 786-4261  
(803) 786-4263  
WWW.WKDICKSON.COM

**SOUTH CAROLINA PROFESSIONAL ENGINEER**  
No. 38171  
1/13/21  
DAMIELE MA, SE  
PROFESSIONAL SEAL

**SOUTH CAROLINA CERTIFICATE OF AUTHORITY**  
W. K. DICKSON & COMPANY, INC.  
No. C00117

**CITY OF COLUMBIA, S.C.**  
We Are Columbia

NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMER POND AND HARD SCRABBLE ROADS  
FOR CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA  
DRAWING TITLE: 42-INCH WM PLAN & PROFILE - STA. 66 + 50 THRU 80 + 00

PROJ. MGR.: BCW  
DESIGN BY: SMH / TDM  
DRAWN BY: TDM  
PROJ. DATE: 1/13/2021  
DRAWING NUMBER: **C6**  
WKD PROJ. NO.: 20190471.00.CA

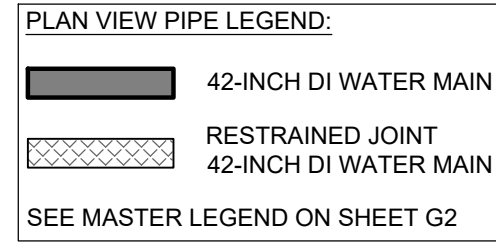




811 or 888-721-7877  
www.sc811.com

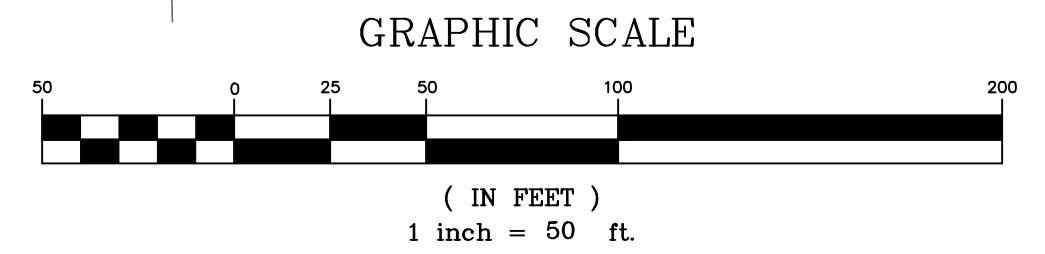
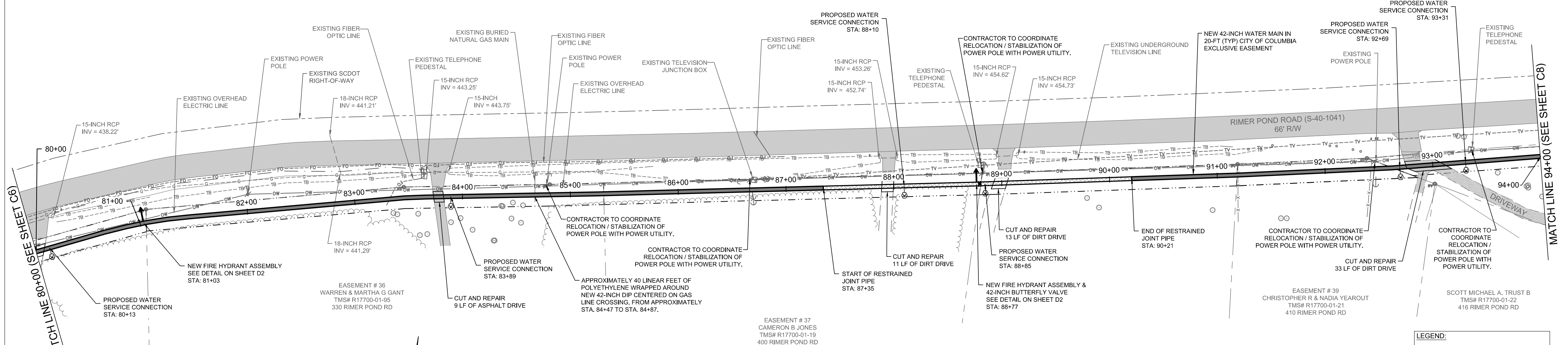
**ESTIMATED CLEARING BETWEEN STA: 85+35 AND 88+65 ~ 0.02 ACRE**

- EASEMENT NOTES:**
1. CONTRACTOR TO REVIEW ALL FINAL EASEMENT DOCUMENTS PRIOR TO START OF CONSTRUCTION.
  2. CONTRACTOR RESPONSIBLE FOR EXECUTION OF ALL CONDITIONS INCLUDED IN THE RECORDED EASEMENT DOCUMENTS.
  3. SEE TABLE SHOWING PROPERTIES WITH EASEMENT CONDITIONS ON SHEET D5 AND D6. THIS TABLE IS PROVIDED FOR REFERENCE BUT CONTRACTOR SHALL REVIEW AND COMPLETE ALL CONDITIONS INCLUDED IN ACTUAL EASEMENT DOCUMENTS THEMSELVES.

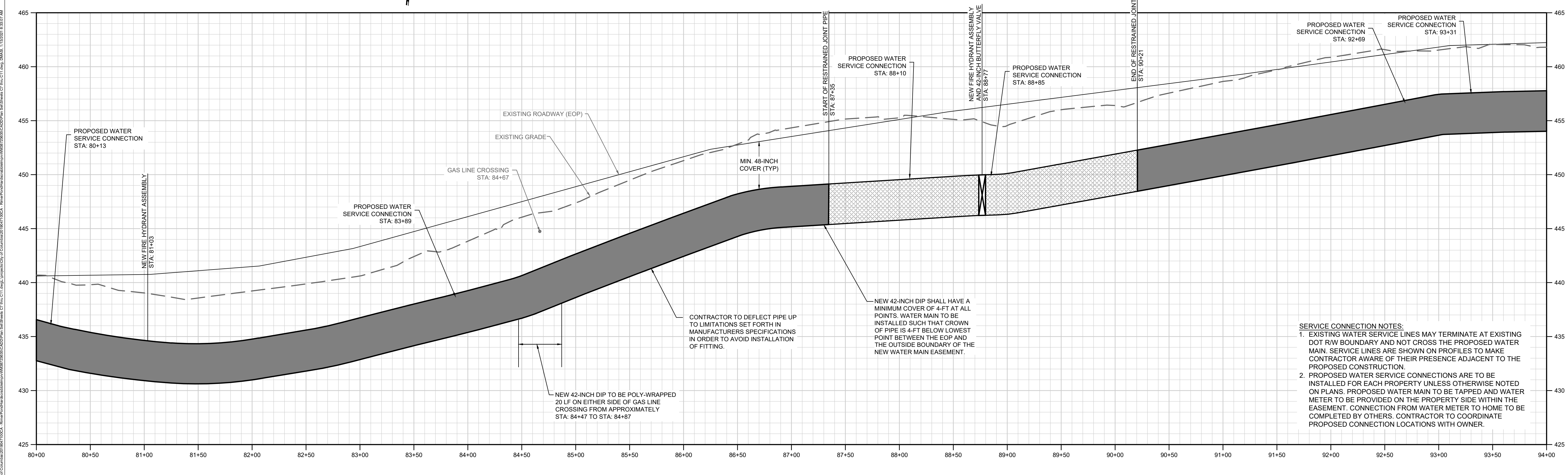


**NOTES:**

1. CONTRACTOR TO CLEAR TREES AND BRUSH WITHIN PROPOSED CITY OF COLUMBIA EASEMENT UNLESS OTHERWISE SPECIFIED ON THE CONSTRUCTION PLANS OR IN AREAS MARKED AS WETLANDS.
2. ALL DRIVEWAYS TO BE CUT AND REPAIRED TO PRE-CONSTRUCTION CONDITION. CONTRACTOR TO COORDINATE WITH PROPERTY OWNERS TO ENSURE ACCESS TO PROPERTY DURING CONSTRUCTION.
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11. CONTRACTOR IS RESPONSIBLE FOR ALL ASSOCIATED COST OF RELOCATION / STABILIZATION OF POWER POLES.



**PLAN VIEW**  
STA. 80+00 THRU 94+00



**PROFILE**  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

- SERVICE CONNECTION NOTES:**
1. EXISTING WATER SERVICE LINES MAY TERMINATE AT EXISTING DOT R/W BOUNDARY AND NOT CROSS THE PROPOSED WATER MAIN. SERVICE LINES ARE SHOWN ON PROFILES TO MAKE CONTRACTOR AWARE OF THEIR PRESENCE ADJACENT TO THE PROPOSED CONSTRUCTION.
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**SOUTH CAROLINA PROFESSIONAL SEAL**  
No. 38171  
1/13/21  
DANIELLE M. B. JONES  
PROFESSIONAL SEAL

**SOUTH CAROLINA CERTIFICATE OF AUTHORITY**  
W. K. DICKSON & COMPANY, INC.  
No. 000177

**CITY OF COLUMBIA, S.C.**  
We Are Columbia

NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMMER POND AND HARD SCRABBLE ROADS  
FOR CITY OF COLUMBIA  
RICHLAND COUNTY, SOUTH CAROLINA

DRAWING TITLE: 42-INCH WM PLAN & PROFILE - STA. 80+00 THRU 94+00

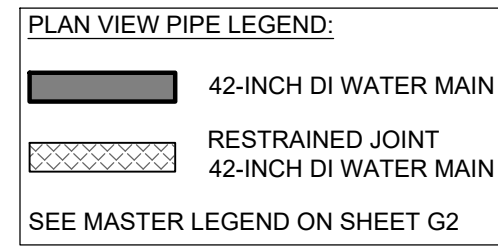
PROJ. MGR.: BCW  
DESIGN BY: SMH / TDM  
DRAWN BY: TDM  
PROJ. DATE: 1/13/2021  
DRAWING NUMBER: **C7**  
WKD PROJ. NO.: 20190471.00.CA



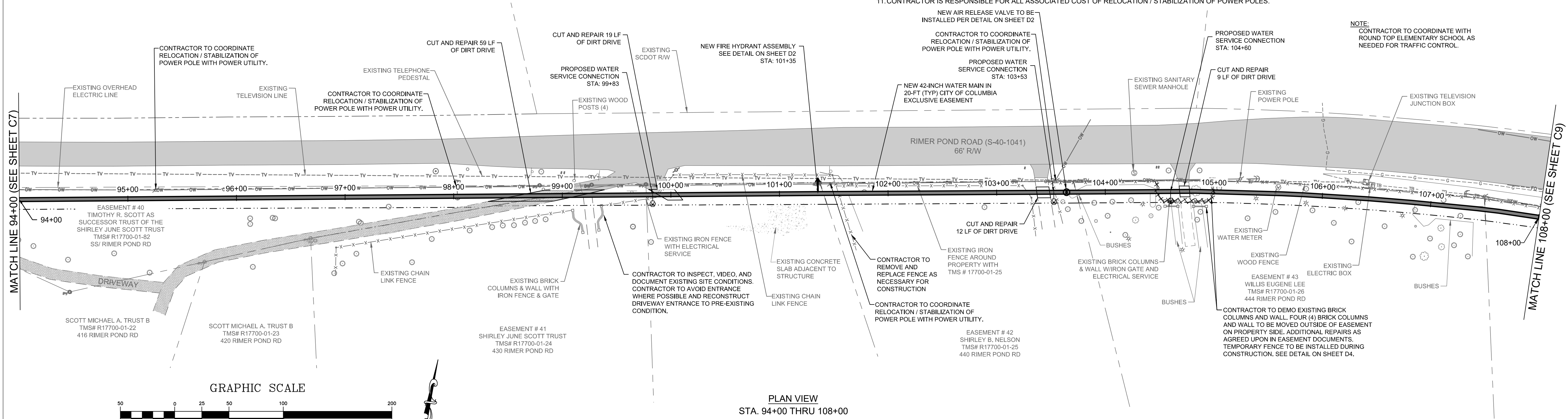


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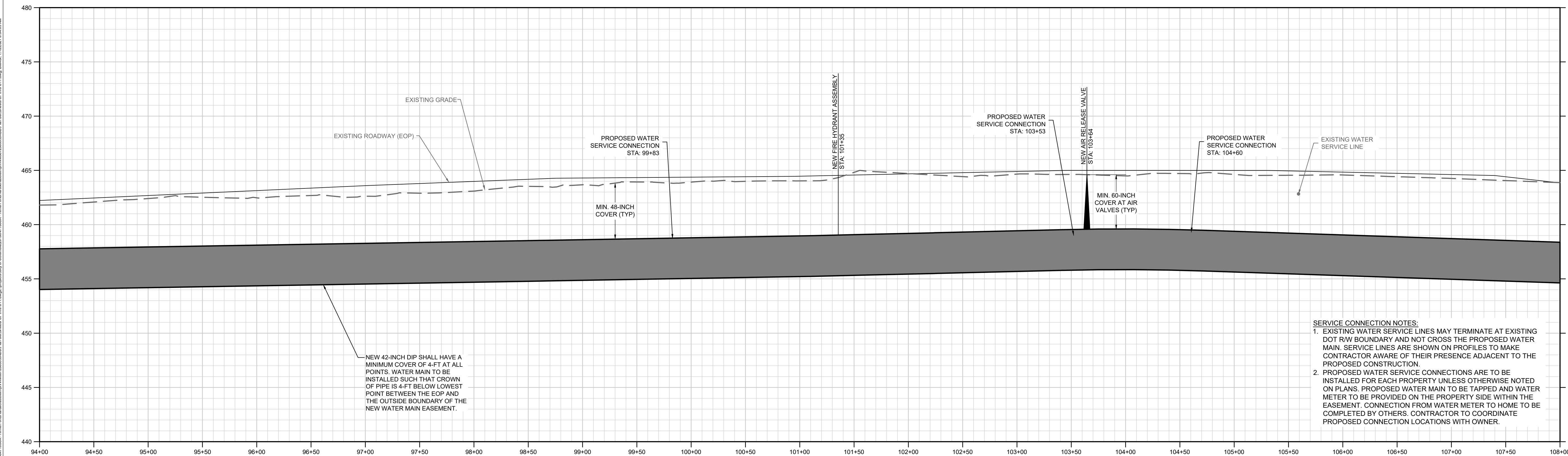
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  - CONTRACTOR RESPONSIBLE FOR EXECUTION OF ALL CONDITIONS INCLUDED IN THE RECORDED EASEMENT DOCUMENTS.
  - SEE TABLE SHOWING PROPERTIES WITH EASEMENT CONDITIONS ON SHEETS D5 AND D6, INCLUDING PROPERTIES:
    - TMS# R17700-01-24
    - TMS# R17700-01-25
    - TMS# R17700-01-26
- THIS TABLE IS PROVIDED FOR REFERENCE BUT CONTRACTOR SHALL REVIEW AND COMPLETE ALL CONDITIONS INCLUDED IN ACTUAL EASEMENT DOCUMENTS THEMSELVES.



- NOTES:**
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  - CONTRACTOR IS RESPONSIBLE FOR ALL ASSOCIATED COST OF RELOCATION / STABILIZATION OF POWER POLES.



PLAN VIEW  
STA. 94+00 THRU 108+00



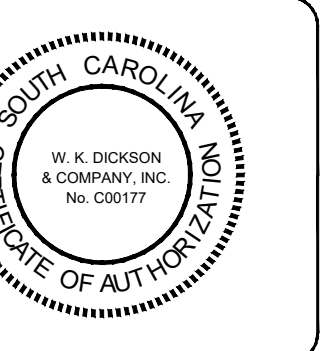
PROFILE  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

- SERVICE CONNECTION NOTES:**
- EXISTING WATER SERVICE LINES MAY TERMINATE AT EXISTING DOT R/W BOUNDARY AND NOT CROSS THE PROPOSED WATER MAIN. SERVICE LINES ARE SHOWN ON PROFILES TO MAKE CONTRACTOR AWARE OF THEIR PRESENCE ADJACENT TO THE PROPOSED CONSTRUCTION.
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1320 MAIN STREET  
SUITE 400  
COLUMBIA, SC 29201  
(803) 786-4261  
(803) 786-4263

WWW.WKDICKSON.COM



NO.	DATE	DESCRIPTION

DRAWING STATUS - FOR BID

PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMER POND AND HARD SCRABBLE ROADS  
FOR CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA  
DRAWING TITLE: 42-INCH WM PLAN & PROFILE - STA. 94+00 THRU 108+00

PROJ. MGR.: BCW  
DESIGN BY: SMH / TDM  
DRAWN BY: TDM  
PROJ. DATE: 1/13/2021  
DRAWING NUMBER: C8  
WKD PROJ. NO.: 20190471.00.CA





811 or 888-721-7877  
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**ESTIMATED CLEARING BETWEEN STA: 115+34 AND 118+05 ~ 0.24 ACRE**

- EASEMENT NOTES:**
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  - CONTRACTOR RESPONSIBLE FOR EXECUTION OF ALL CONDITIONS INCLUDED IN THE RECORDED EASEMENT DOCUMENTS.
  - SEE TABLE SHOWING PROPERTIES WITH EASEMENT CONDITIONS ON SHEET D5 AND D6, INCLUDING PROPERTIES:
    - TMS# R17700-01-28
    - TMS# R17700-01-30
- THIS TABLE IS PROVIDED FOR REFERENCE BUT CONTRACTOR SHALL REVIEW AND COMPLETE ALL CONDITIONS INCLUDED IN ACTUAL EASEMENT DOCUMENTS THEMSELVES.

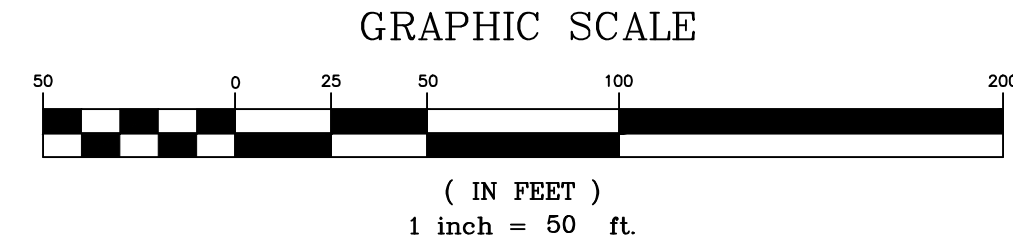
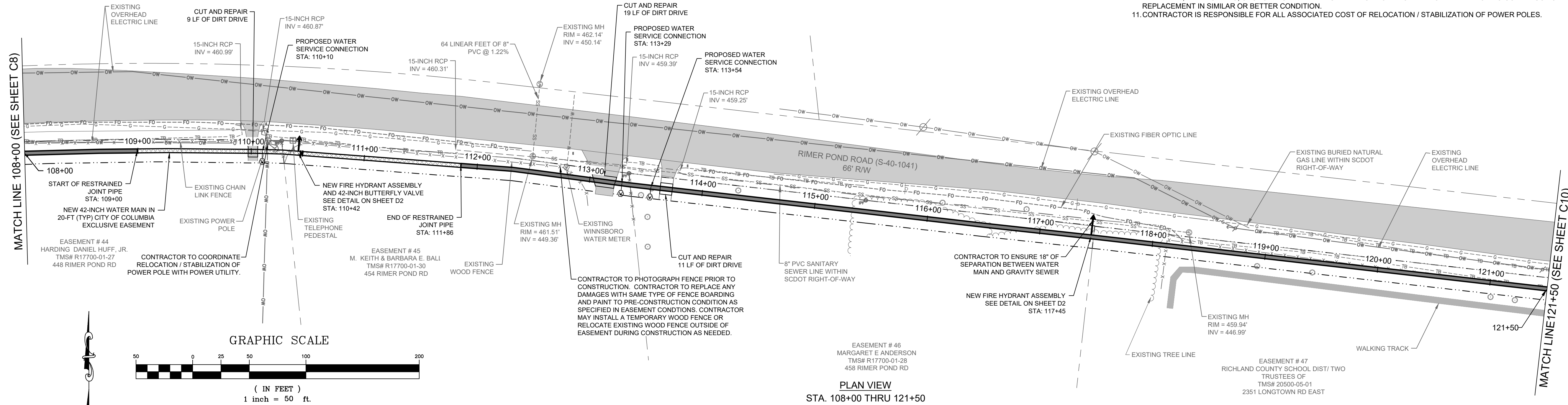
**PLAN VIEW PIPE LEGEND:**

- 42-INCH DI WATER MAIN
  - RESTRAINED JOINT
  - 42-INCH DI WATER MAIN
- SEE MASTER LEGEND ON SHEET G2

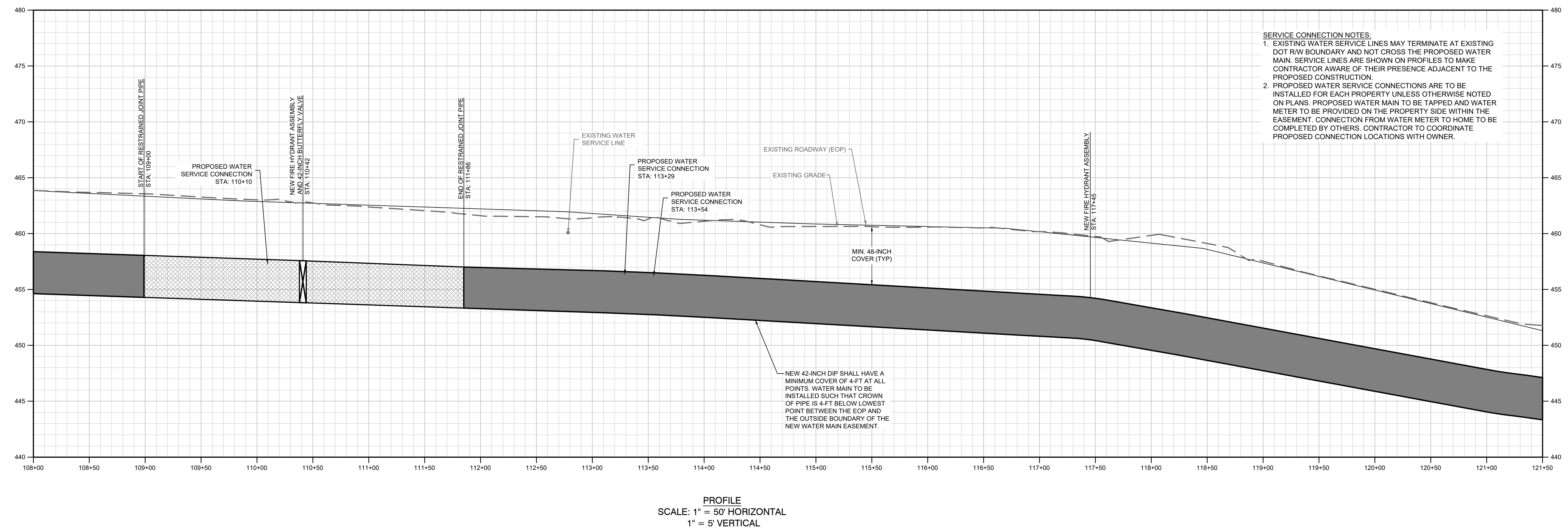
**NOTES:**

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**NOTE:**  
CONTRACTOR TO COORDINATE WITH ROUND TOP ELEMENTARY SCHOOL AS NEEDED FOR TRAFFIC CONTROL.



**PLAN VIEW**  
STA. 108+00 THRU 121+50



- SERVICE CONNECTION NOTES:**
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**PROFILE**  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

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community infrastructure consultants

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**SOUTH CAROLINA PROFESSIONAL ENGINEER**  
No. 38171  
1/13/21  
DANIELLE M. BROWN

PROFESSIONAL SEAL

**SOUTH CAROLINA PROFESSIONAL ENGINEER**  
W. K. DICKSON & COMPANY, INC.  
No. 000177

CERTIFICATE OF AUTHORIZATION

**CITY OF COLUMBIA, S.C.**  
We Are Columbia

NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

**PROJECT NAME:**  
WATER SYSTEM IMPROVEMENTS ALONG RIMER POND AND HARD SCRABBLE ROADS  
FOR  
CITY OF COLUMBIA  
RICHLAND COUNTY, SOUTH CAROLINA

**DRAWING TITLE:**  
42-INCH WM PLAN & PROFILE - STA. 108+00 THRU 121+50

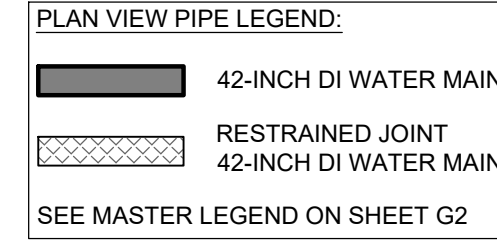
**PROJ. MGR.:** BCW  
**DESIGN BY:** SMH / TDM  
**DRAWN BY:** TDM  
**PROJ. DATE:** 1/13/2021  
**DRAWING NUMBER:**

**C9**

WKD PROJ. NO.:  
20190471.00.CA



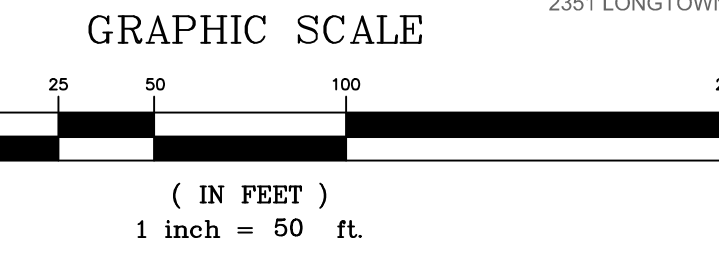
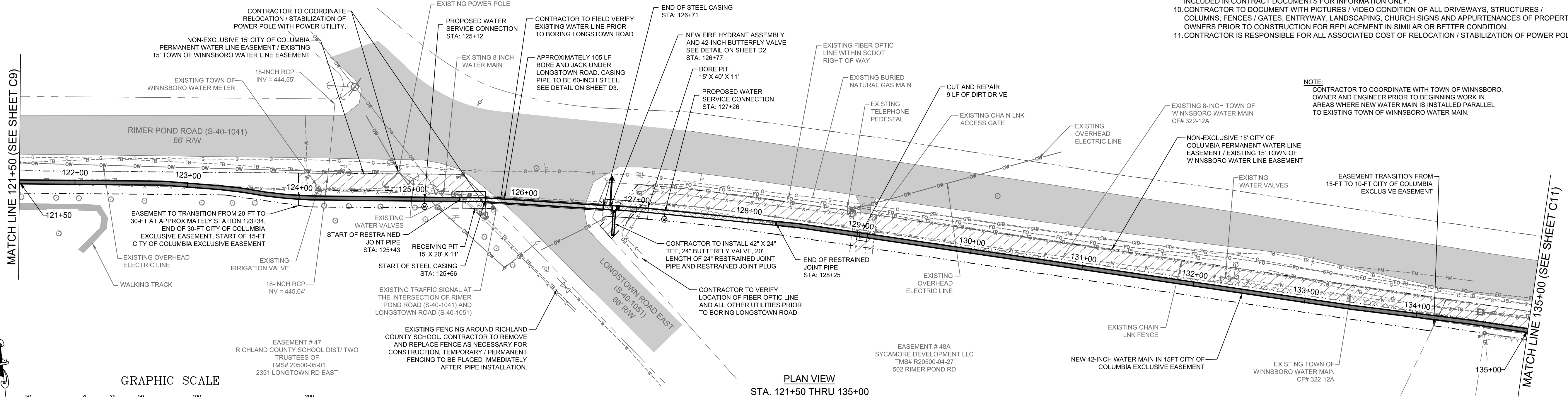
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• TMS# R20500-04-27  
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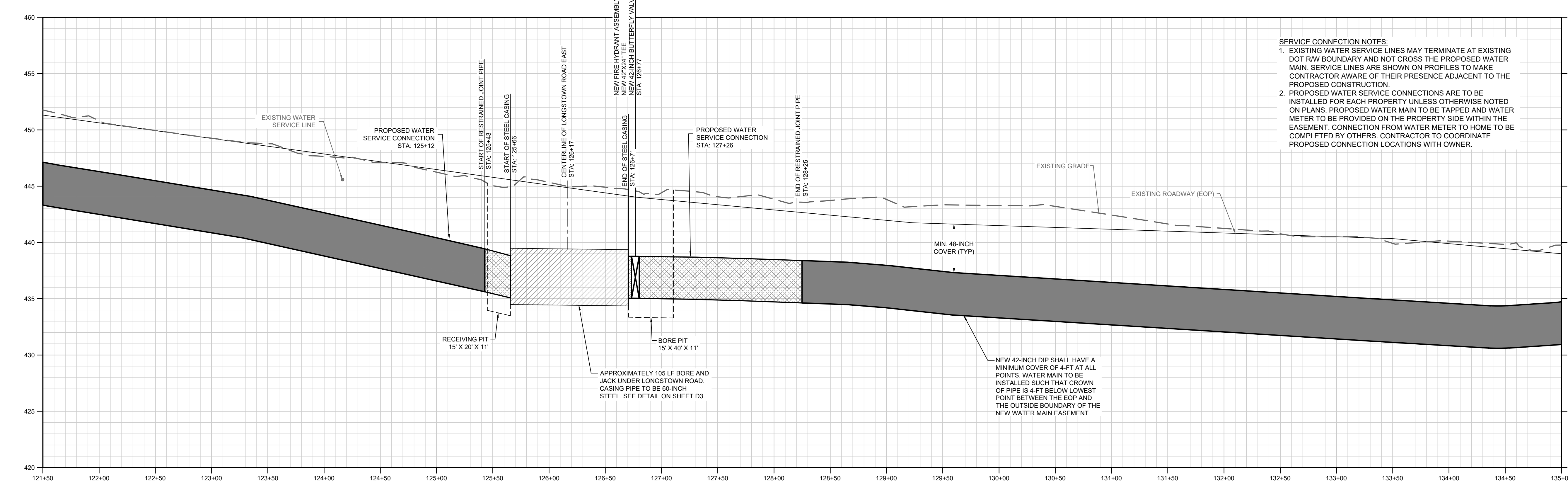
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- ALL EXCAVATION TO BE OF UNCLASSIFIED MATERIALS, INCLUDING BORES. GEOTECHNICAL INVESTIGATION INCLUDED IN CONTRACT DOCUMENTS FOR INFORMATION ONLY.
- CONTRACTOR TO DOCUMENT WITH PICTURES / VIDEO CONDITION OF ALL DRIVEWAYS, STRUCTURES / COLUMNS, FENCES / GATES, ENTRYWAY, LANDSCAPING, CHURCH SIGNS AND APPURTENANCES OF PROPERTY OWNERS PRIOR TO CONSTRUCTION FOR REPLACEMENT IN SIMILAR OR BETTER CONDITION.
- CONTRACTOR IS RESPONSIBLE FOR ALL ASSOCIATED COST OF RELOCATION / STABILIZATION OF POWER POLES.

**NOTE:** CONTRACTOR TO COORDINATE WITH TOWN OF WINNSBORO, OWNER AND ENGINEER PRIOR TO BEGINNING WORK IN AREAS WHERE NEW WATER MAIN IS INSTALLED PARALLEL TO EXISTING TOWN OF WINNSBORO WATER MAIN.



**PLAN VIEW**  
STA. 121+50 THRU 135+00



**PROFILE**  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

**WK DICKSON**  
community infrastructure consultants  
1320 MAIN STREET  
SUITE 400  
COLUMBIA, SC 29201  
(803) 786-4261  
(803) 786-4263  
WWW.WKDICKSON.COM

**SOUTH CAROLINA PROFESSIONAL ENGINEER**  
No. 38171  
1/13/21  
DANIELLE MAZUR  
PROFESSIONAL SEAL

**SOUTH CAROLINA CERTIFICATE OF AUTHORITY**  
W. K. DICKSON & COMPANY, INC.  
No. 000177

**CITY OF COLUMBIA, S.C.**  
We Are Columbia

NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

**PROJECT NAME:** WATER SYSTEM IMPROVEMENTS ALONG RIMER POND AND HARD SCRABBLE ROADS  
**FOR:** CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA  
**DRAWING TITLE:** 42-INCH WM PLAN & PROFILE - STA. 121 + 50 THRU 135+00

**PROJ. MGR.:** BCW  
**DESIGN BY:** SMH / TDM  
**DRAWN BY:** TDM  
**PROJ. DATE:** 1/13/2021  
**DRAWING NUMBER:**  
**C10**  
**WKD PROJ. NO.:** 20190471.00.CA

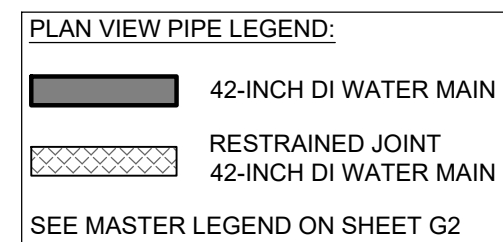




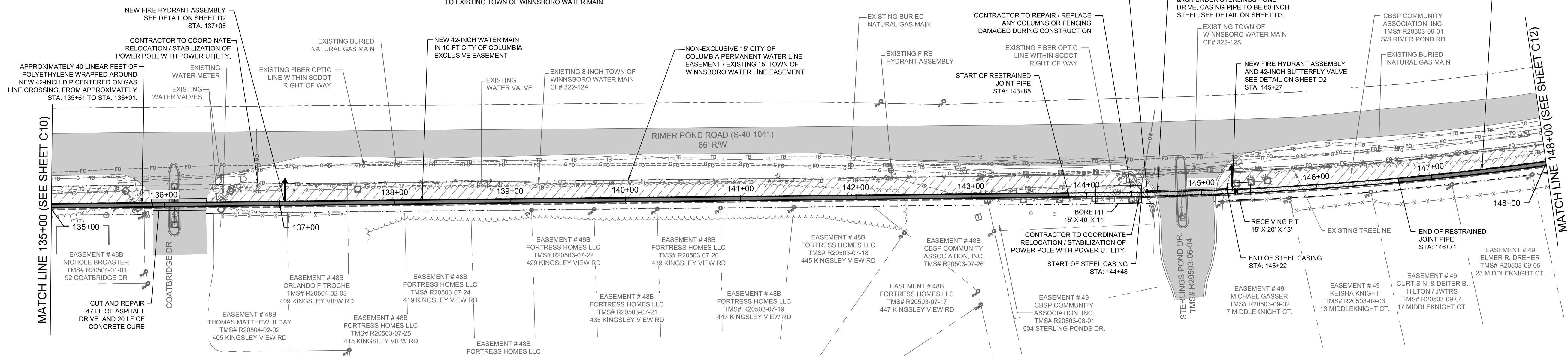
811 or 888-721-7877  
www.sc811.com

**EASEMENT NOTES:**  
 1. CONTRACTOR TO REVIEW ALL FINAL EASEMENT DOCUMENTS PRIOR TO START OF CONSTRUCTION.  
 2. CONTRACTOR RESPONSIBLE FOR EXECUTION OF ALL CONDITIONS INCLUDED IN THE RECORDED EASEMENT DOCUMENTS.  
 3. SEE TABLE SHOWING PROPERTIES WITH EASEMENT CONDITIONS ON SHEET D5 AND D6, INCLUDING PROPERTIES:  
 • TMS# R20500-04-29  
 • TMS# R20500-04-01  
 THIS TABLE IS PROVIDED FOR REFERENCE BUT CONTRACTOR SHALL REVIEW AND COMPLETE ALL CONDITIONS INCLUDED IN ACTUAL EASEMENT DOCUMENTS THEMSELVES.

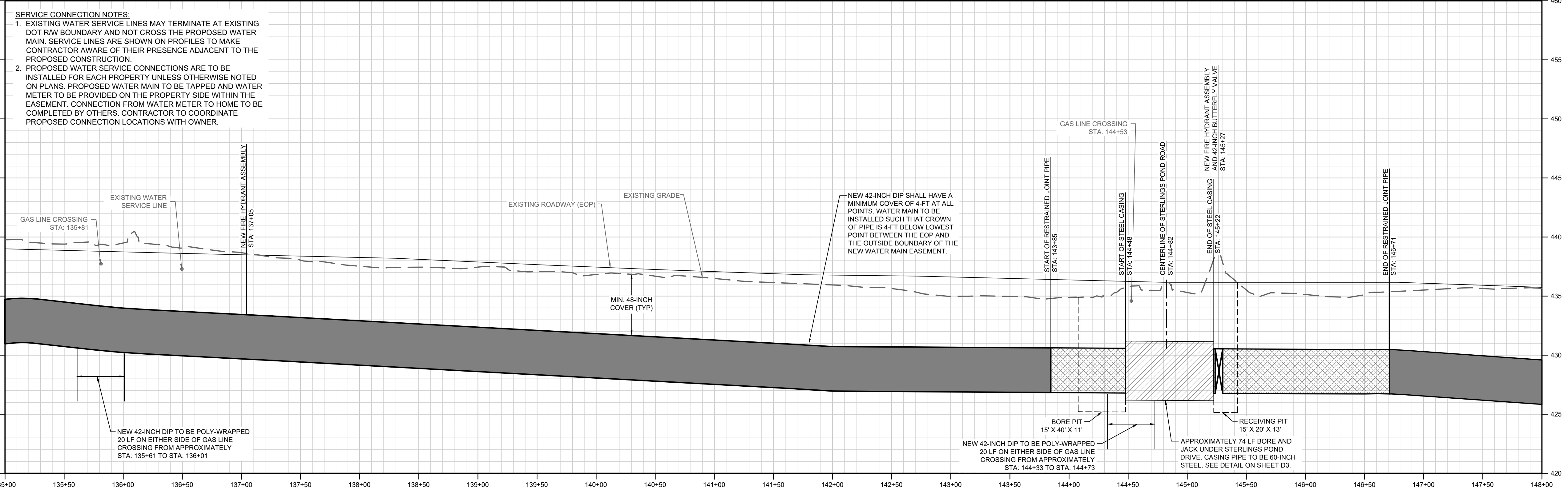
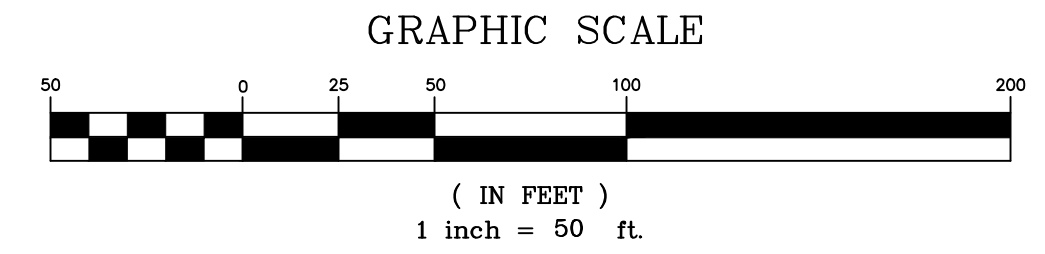
**NOTES:**  
 1. CONTRACTOR TO CLEAR TREES AND BRUSH WITHIN PROPOSED CITY OF COLUMBIA EASEMENT UNLESS OTHERWISE SPECIFIED ON THE CONSTRUCTION PLANS OR IN AREAS MARKED AS WETLANDS.  
 2. ALL DRIVEWAYS TO BE CUT AND REPAIRED TO PRE-CONSTRUCTION CONDITION. CONTRACTOR TO COORDINATE WITH PROPERTY OWNERS TO ENSURE ACCESS TO PROPERTY DURING CONSTRUCTION.  
 3. CONTRACTOR TO DEFLECT WATER MAIN UP TO MANUFACTURERS SPECIFICATION AT PIPE JOINTS TO ENSURE WATER MAIN REMAINS CENTERED IN PROPOSED EASEMENT UNLESS OTHERWISE SPECIFIED ON CONSTRUCTION PLANS. WATER MAIN TO BE TYPICALLY INSTALLED 10 FEET FROM SCODOT RIGHT-OF-WAY UNLESS OTHERWISE SPECIFIED ON CONSTRUCTION PLANS.  
 4. CONNECTIONS AND DEPTHS OF EXISTING SERVICE LINES TO BE FIELD VERIFIED BY CONTRACTOR.  
 5. LOCATION AND DEPTHS OF GAS LINE CROSSINGS TO BE FIELD VERIFIED BY CONTRACTOR. ENGINEER TO BE NOTIFIED IF PROPOSED WATER MAIN DEPTH IS LESS THAN 18-INCHES OF SEPARATION FROM GAS LINE.  
 6. RESTRAINED JOINT LENGTH OR STATIONS CALLED OUT ON PLANS ARE MINIMUM LENGTHS. RESTRAINED JOINT GASKETS SHALL BE INSTALLED TO THE NEXT PIPE JOINT BEYOND THESE MINIMUM LENGTHS.  
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**NOTE:**  
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**PLAN VIEW**  
 STA. 135+00 THRU 148+00



**PROFILE**  
 SCALE: 1" = 50' HORIZONTAL  
 1" = 5' VERTICAL

**SERVICE CONNECTION NOTES:**  
 1. EXISTING WATER SERVICE LINES MAY TERMINATE AT EXISTING DOT RW BOUNDARY AND NOT CROSS THE PROPOSED WATER MAIN. SERVICE LINES ARE SHOWN ON PROFILES TO MAKE CONTRACTOR AWARE OF THEIR PRESENCE ADJACENT TO THE PROPOSED CONSTRUCTION.  
 2. PROPOSED WATER SERVICE CONNECTIONS ARE TO BE INSTALLED FOR EACH PROPERTY UNLESS OTHERWISE NOTED ON PLANS. PROPOSED WATER MAIN TO BE TAPPED AND WATER METER TO BE PROVIDED ON THE PROPERTY SIDE WITHIN THE EASEMENT. CONNECTION FROM WATER METER TO HOME TO BE COMPLETED BY OTHERS. CONTRACTOR TO COORDINATE PROPOSED CONNECTION LOCATIONS WITH OWNER.

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**SOUTH CAROLINA PROFESSIONAL SEAL**  
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 1/13/21  
 DANIELLE MAZUR  
 PROFESSIONAL SEAL

**SOUTH CAROLINA CERTIFICATE OF AUTHORITY**  
 W. K. DICKSON & COMPANY, INC.  
 No. C00117

**CITY OF COLUMBIA**  
 We Are Columbia

NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMER POND AND HARD SCRABBLE ROADS FOR CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA  
 DRAWING TITLE: 42-INCH WM PLAN & PROFILE - STA. 135+00 THRU 148+00

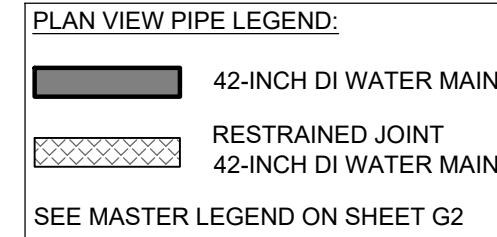
PROJ. MGR.: BCW  
 DESIGN BY: SMH / TDM  
 DRAWN BY: TDM  
 PROJ. DATE: 1/13/2021  
 DRAWING NUMBER: C11  
 WKD PROJ. NO.: 20190471.00.CA





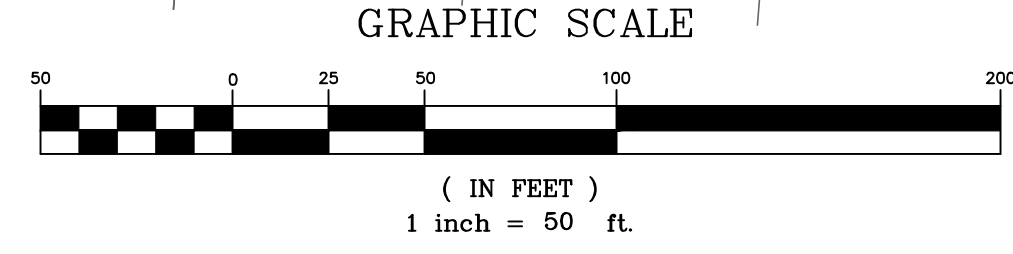
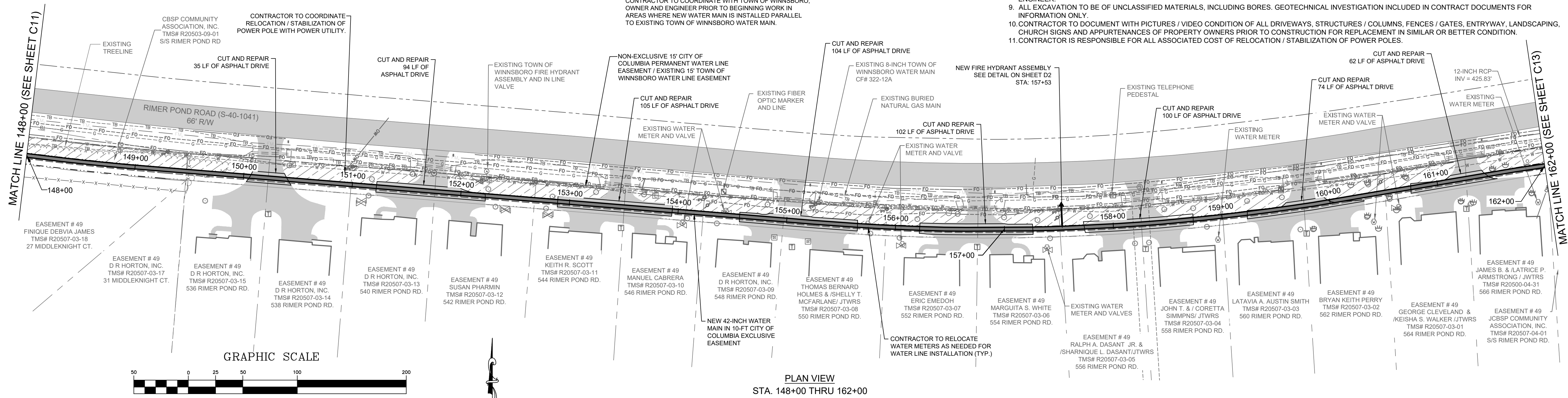
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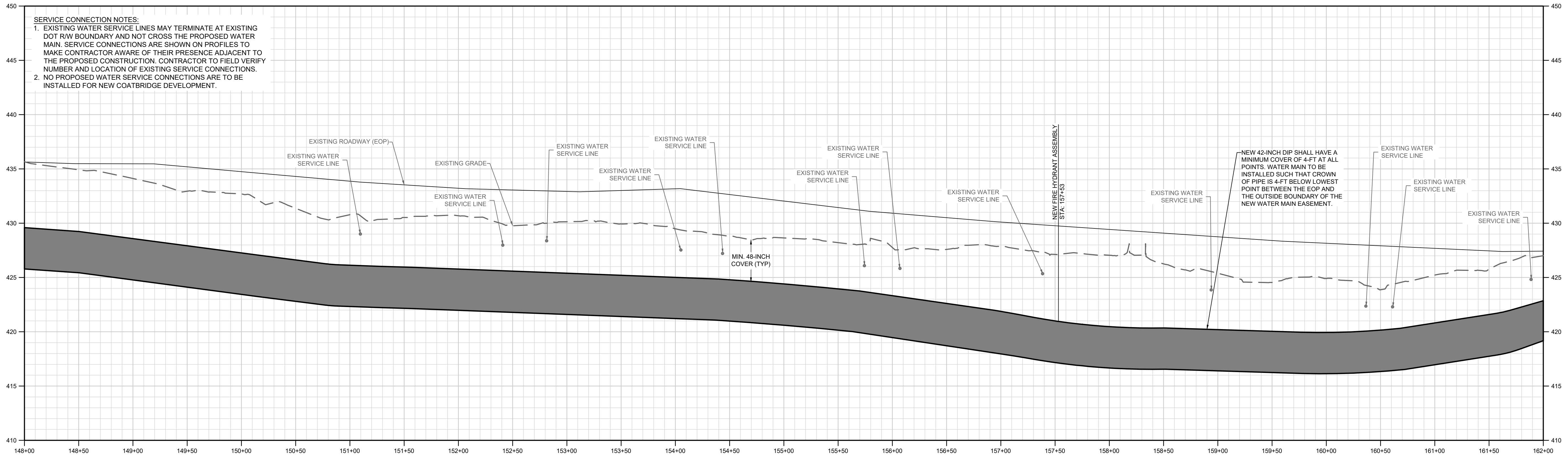
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  - LOCATION AND DEPTHS OF GAS LINE CROSSINGS TO BE FIELD VERIFIED BY CONTRACTOR. ENGINEER TO BE NOTIFIED IF PROPOSED WATER MAIN DEPTH IS LESS THAN 18-INCHES OF SEPARATION FROM GAS LINE.
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PLAN VIEW  
STA. 148+00 THRU 162+00

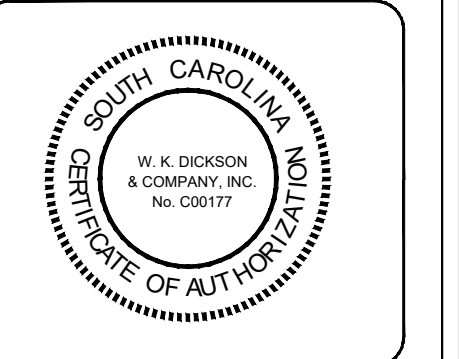
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  - NO PROPOSED WATER SERVICE CONNECTIONS ARE TO BE INSTALLED FOR NEW COATBRIDGE DEVELOPMENT.



PROFILE  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

**WK DICKSON**  
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1320 MAIN STREET  
SUITE 400  
COLUMBIA, SC 29201  
(803) 786-4261  
(803) 786-4263  
WWW.WKDICKSON.COM



NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMER POND AND HARD SCRABBLE ROADS  
FOR CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA

DRAWING TITLE: 42-INCH WM PLAN & PROFILE - STA. 148+00 THRU 162+00

PROJ. MGR.: BCW  
DESIGN BY: SMH / TDM  
DRAWN BY: TDM  
PROJ. DATE: 1/13/2021  
DRAWING NUMBER: **C12**  
WKD PROJ. NO.: 20190471.00.CA

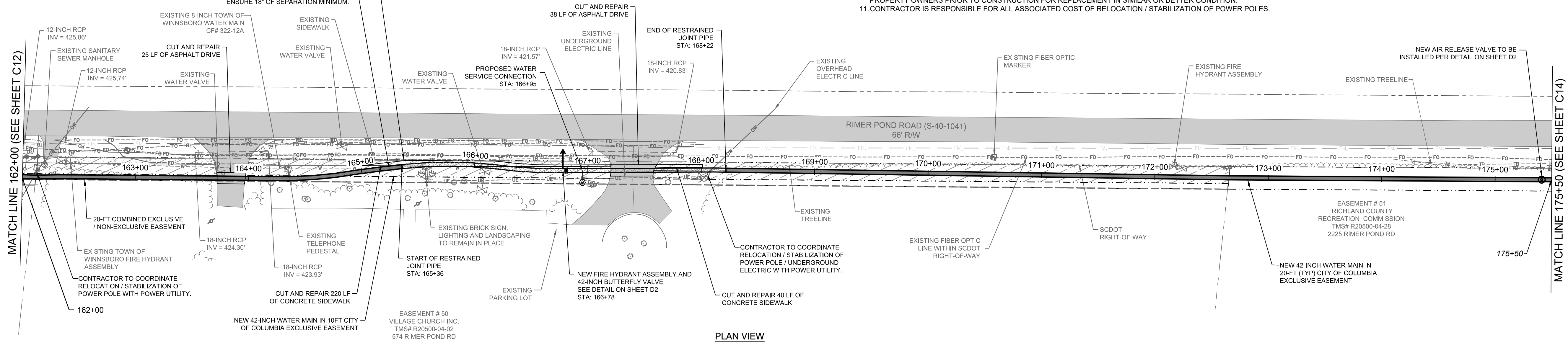


**ESTIMATED CLEARING BETWEEN STA: 162+62 AND 175+50 ~ 0.31 ACRE**

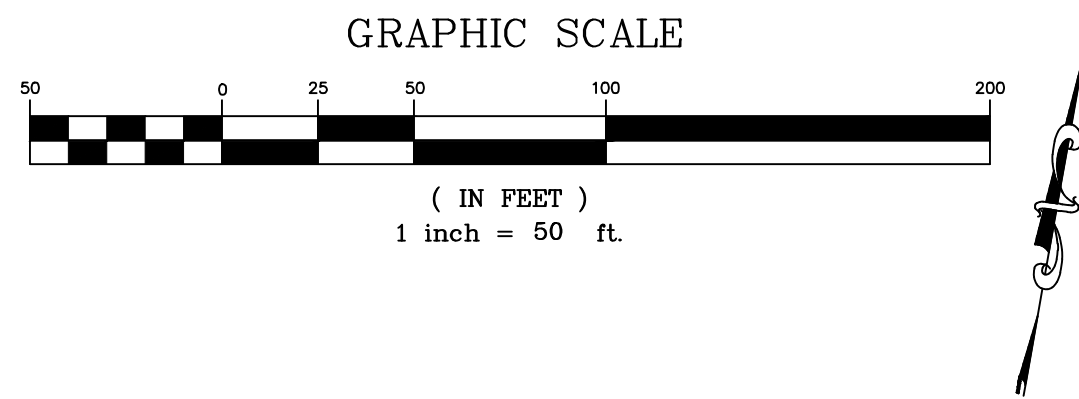
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**EASEMENT NOTES:**  
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11. CONTRACTOR IS RESPONSIBLE FOR ALL ASSOCIATED COST OF RELOCATION / STABILIZATION OF POWER POLES.



**PLAN VIEW**  
STA. 162+00 THRU 175+50



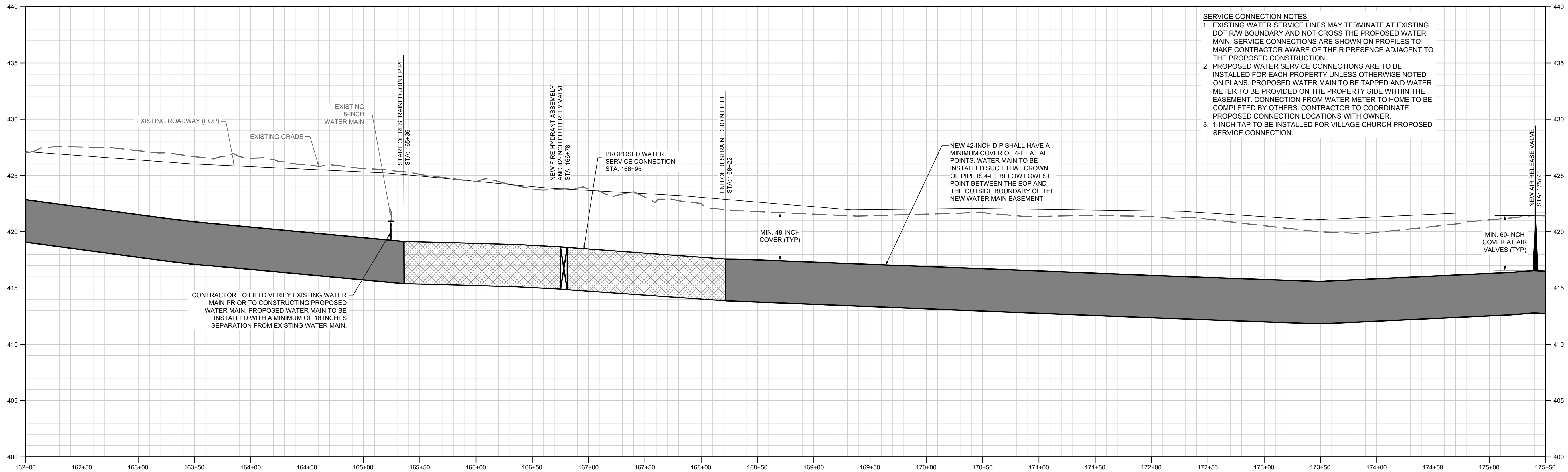
**PLAN VIEW PIPE LEGEND:**

	42-INCH DI WATER MAIN
	RESTRAINED JOINT 42-INCH DI WATER MAIN

SEE MASTER LEGEND ON SHEET G2



811 or 888-721-7877  
www.sc811.com



**SERVICE CONNECTION NOTES:**  
1. EXISTING WATER SERVICE LINES MAY TERMINATE AT EXISTING DOT R/W BOUNDARY AND NOT CROSS THE PROPOSED WATER MAIN. SERVICE CONNECTIONS ARE SHOWN ON PROFILES TO MAKE CONTRACTOR AWARE OF THEIR PRESENCE ADJACENT TO THE PROPOSED CONSTRUCTION.  
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3. 1-INCH TAP TO BE INSTALLED FOR VILLAGE CHURCH PROPOSED SERVICE CONNECTION.

**WK DICKSON**  
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**SOUTH CAROLINA PROFESSIONAL SEAL**  
No. 38171  
1/13/21  
DANIELLE M. BROWN  
PROFESSIONAL SEAL

**SOUTH CAROLINA CERTIFICATE OF AUTHORITY**  
W. K. DICKSON & COMPANY, INC.  
No. 000117

**CITY OF COLUMBIA, S.C.**  
We Are Columbia

NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

**PROJECT NAME:** WATER SYSTEM IMPROVEMENTS ALONG RIMER POND AND HARD SCRABBLE ROADS FOR CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA  
**DRAWING TITLE:** 42-INCH WM PLAN & PROFILE - STA. 162+00 THRU 175+50

**PROJ. MGR.:** BCW  
**DESIGN BY:** SMH / TDM  
**DRAWN BY:** TDM  
**PROJ. DATE:** 1/13/2021  
**DRAWING NUMBER:** **C13**  
WKD PROJ. NO.: 20190471.00.CA

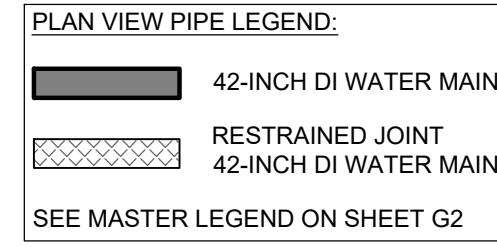




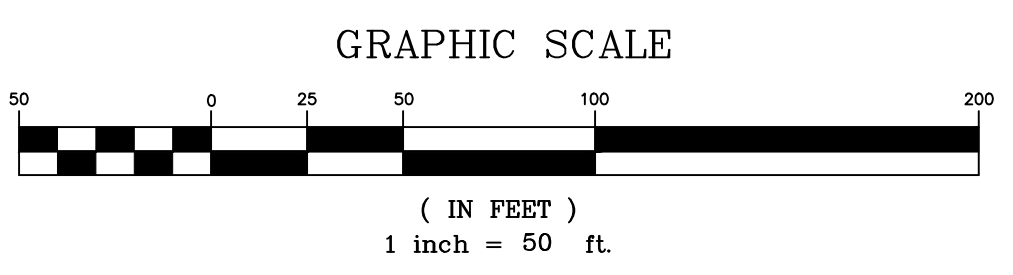
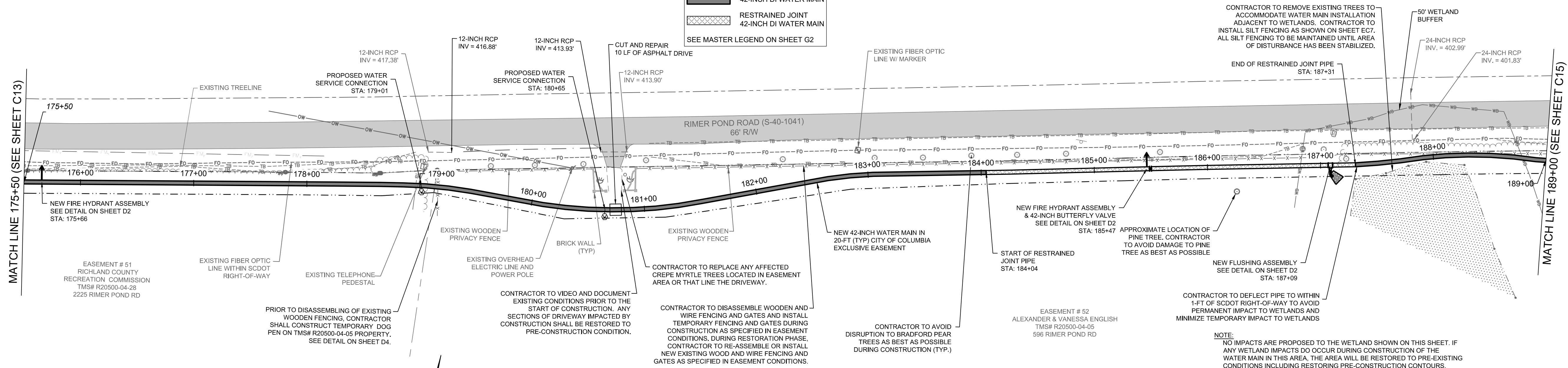
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www.sc811.com

ESTIMATED CLEARING BETWEEN STA: 175+50 AND 189+00 ~ 0.24 ACRE

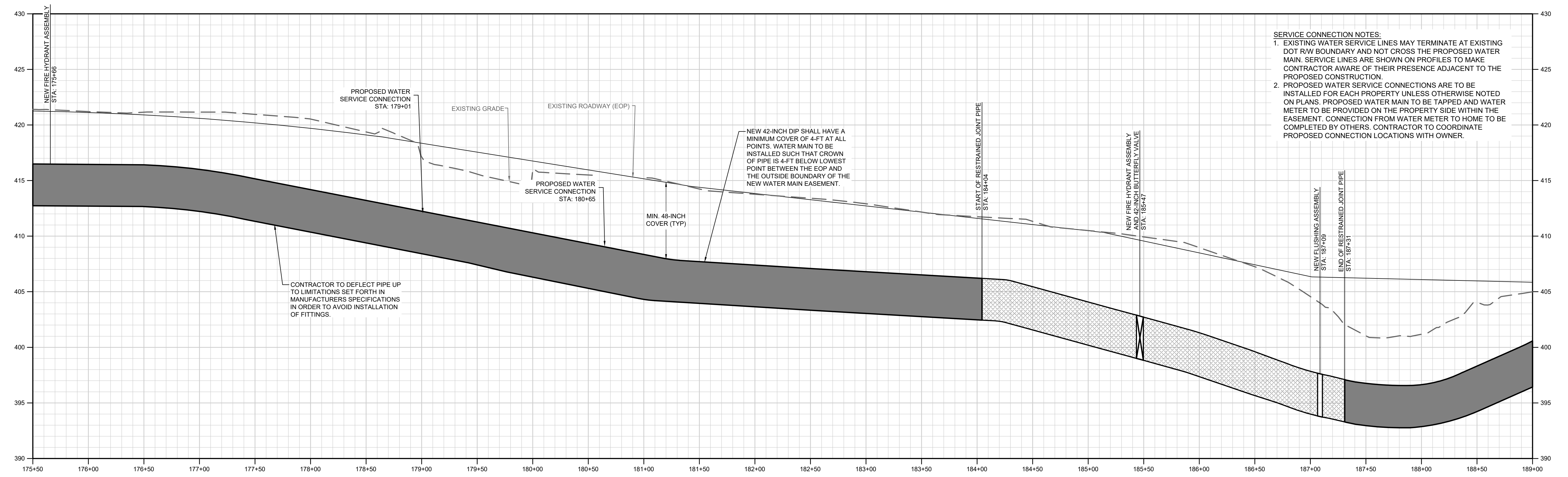
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    - TMS# R20500-04-05
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PLAN VIEW  
STA. 175+50 THRU 189+00



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PROFILE  
SCALE: 1" = 50' HORIZONTAL  
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NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMER POND AND HARD SCRABBLE ROADS FOR CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA

DRAWING TITLE: 42-INCH WM PLAN & PROFILE - STA. 175+50 THRU 189+00

PROJ. MGR.: BCW  
DESIGN BY: SMH / TDM  
DRAWN BY: TDM  
PROJ. DATE: 1/13/2021  
DRAWING NUMBER: **C14**  
WKD PROJ. NO.: 20190471.00.CA

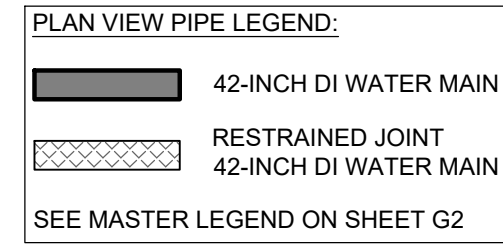




811 or 888-721-7877  
www.sc811.com

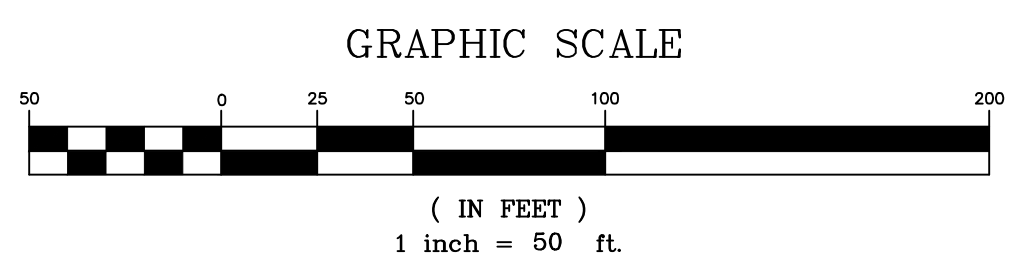
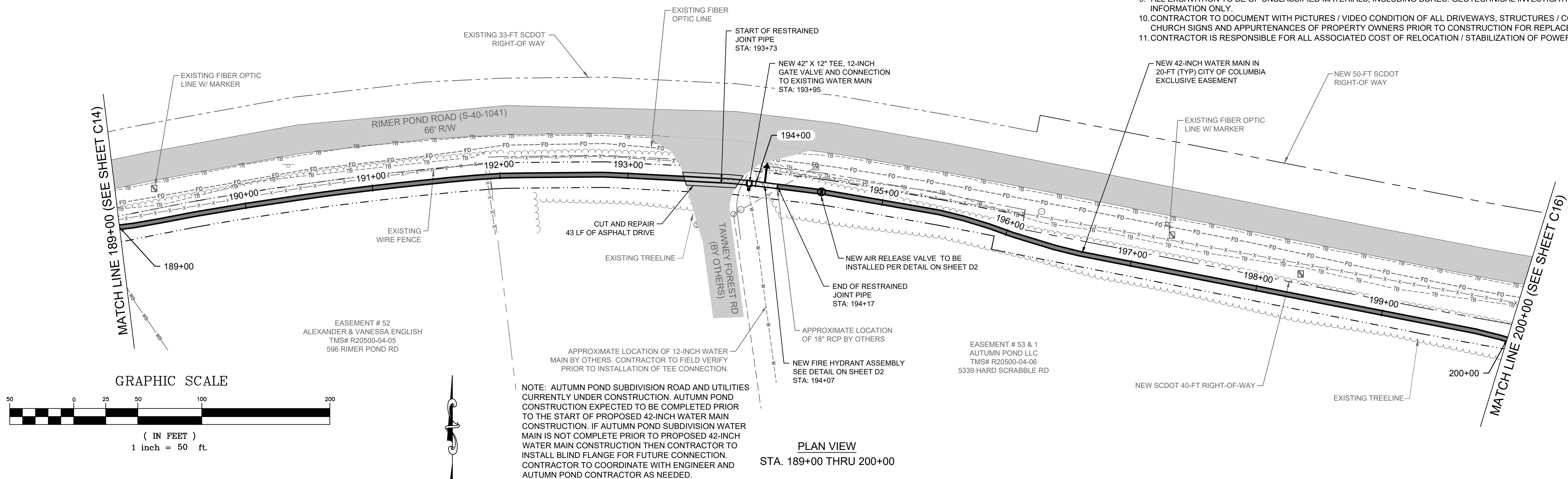
**ESTIMATED CLEARING BETWEEN STA: 189+00 AND 200+00 ~ 0.51 ACRE**

- EASEMENT NOTES:**
- CONTRACTOR TO REVIEW ALL FINAL EASEMENT DOCUMENTS PRIOR TO START OF CONSTRUCTION.
  - CONTRACTOR RESPONSIBLE FOR EXECUTION OF ALL CONDITIONS INCLUDED IN THE RECORDED EASEMENT DOCUMENTS.
  - SEE TABLE SHOWING PROPERTIES WITH EASEMENT CONDITIONS ON SHEET D5 AND D6. THIS TABLE IS PROVIDED FOR REFERENCE BUT CONTRACTOR SHALL REVIEW AND COMPLETE ALL CONDITIONS INCLUDED IN ACTUAL EASEMENT DOCUMENTS THEMSELVES.



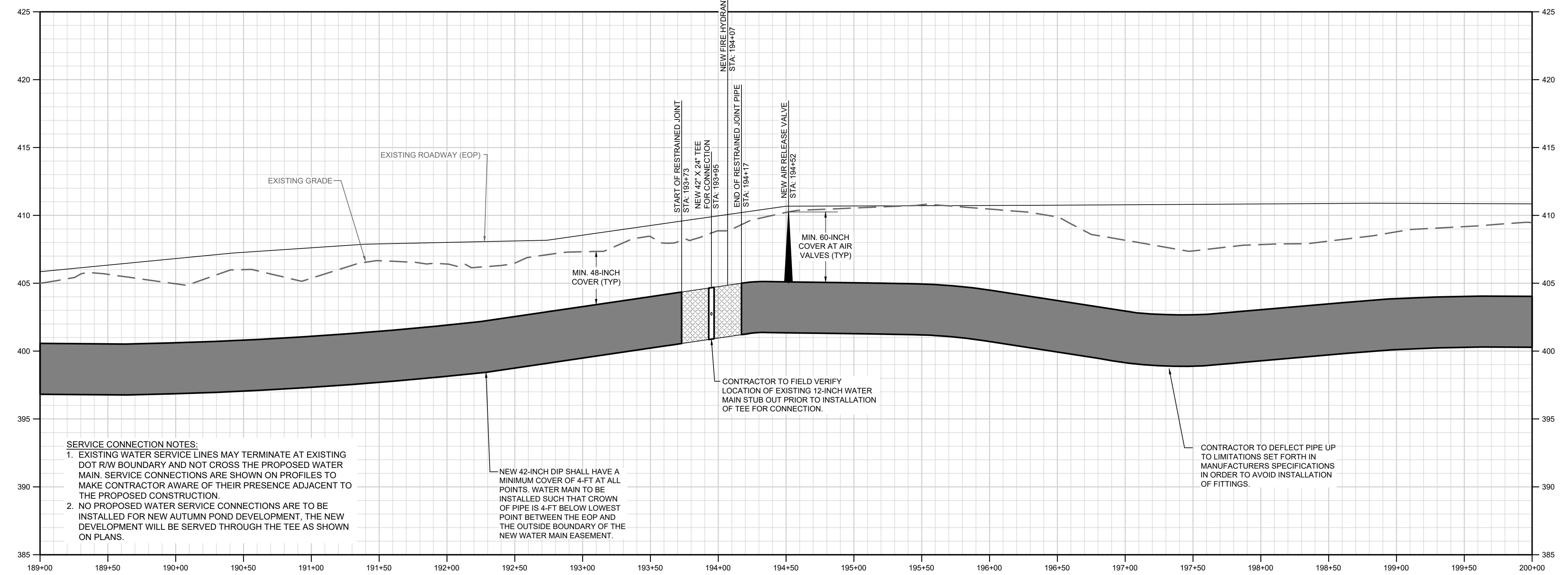
**NOTES:**

- CONTRACTOR TO CLEAR TREES AND BRUSH WITHIN PROPOSED CITY OF COLUMBIA EASEMENT UNLESS OTHERWISE SPECIFIED ON THE CONSTRUCTION PLANS OR IN AREAS MARKED AS WETLANDS.
- ALL DRIVEWAYS TO BE CUT AND REPAIRED TO PRE-CONSTRUCTION CONDITION. CONTRACTOR TO COORDINATE WITH PROPERTY OWNERS TO ENSURE ACCESS TO PROPERTY DURING CONSTRUCTION.
- CONTRACTOR TO DEFLECT WATER MAIN UP TO MANUFACTURERS SPECIFICATION AT PIPE JOINTS TO ENSURE WATER MAIN REMAINS CENTERED IN PROPOSED EASEMENT UNLESS OTHERWISE SPECIFIED ON CONSTRUCTION PLANS. WATER MAIN TO BE TYPICALLY INSTALLED 10 FEET FROM SCDOT RIGHT-OF-WAY UNLESS OTHERWISE SPECIFIED ON CONSTRUCTION PLANS.
- CONNECTIONS AND DEPTHS OF EXISTING SERVICE LINES TO BE FIELD VERIFIED BY CONTRACTOR.
- LOCATION AND DEPTHS OF GAS LINE CROSSINGS TO BE FIELD VERIFIED BY CONTRACTOR. ENGINEER TO BE NOTIFIED IF PROPOSED WATER MAIN DEPTH IS LESS THAN 18-INCHES OF SEPARATION FROM GAS LINE.
- RESTRAINED JOINT LENGTH OR STATIONS CALLED OUT ON PLANS ARE MINIMUM LENGTHS. RESTRAINED JOINT GASKETS SHALL BE INSTALLED TO THE NEXT PIPE JOINT BEYOND THESE MINIMUM LENGTHS.
- CONTRACTOR SHALL INSTALL RESTRAINED JOINT PIPE TO EXTEND AT LEAST ONE (1) PIPE LENGTH ON BOTH SIDES OF TEES INSTALLED ON THE MAIN LINE. TEES ADJACENT TO INLINE VALVES OR OTHER FITTINGS SHALL BE RESTRAINED AS SHOWN ON THE CONSTRUCTION PLANS.
- IF FIRE HYDRANT ASSEMBLIES AND BUTTERFLY VALVE LOCATIONS ARE CHANGED DURING CONSTRUCTION CONTRACTOR SHALL COORDINATE WITH ENGINEER.
- ALL EXCAVATION TO BE OF UNCLASSIFIED MATERIALS, INCLUDING BORES. GEOTECHNICAL INVESTIGATION INCLUDED IN CONTRACT DOCUMENTS FOR INFORMATION ONLY.
- CONTRACTOR TO DOCUMENT WITH PICTURES / VIDEO CONDITION OF ALL DRIVEWAYS, STRUCTURES / COLUMNS, FENCES / GATES, ENTRYWAY, LANDSCAPING, CHURCH SIGNS AND APPURTENANCES OF PROPERTY OWNERS PRIOR TO CONSTRUCTION FOR REPLACEMENT IN SIMILAR OR BETTER CONDITION.
- CONTRACTOR IS RESPONSIBLE FOR ALL ASSOCIATED COST OF RELOCATION / STABILIZATION OF POWER POLES.



**NOTE:** AUTUMN POND SUBDIVISION ROAD AND UTILITIES CURRENTLY UNDER CONSTRUCTION. AUTUMN POND CONSTRUCTION EXPECTED TO BE COMPLETED PRIOR TO THE START OF PROPOSED 42-INCH WATER MAIN CONSTRUCTION. IF AUTUMN POND SUBDIVISION WATER MAIN IS NOT COMPLETE PRIOR TO PROPOSED 42-INCH WATER MAIN CONSTRUCTION THEN CONTRACTOR TO INSTALL BLIND FLANGE FOR FUTURE CONNECTION. CONTRACTOR TO COORDINATE WITH ENGINEER AND AUTUMN POND CONTRACTOR AS NEEDED.

**PLAN VIEW**  
STA. 189+00 THRU 200+00



**SERVICE CONNECTION NOTES:**

- EXISTING WATER SERVICE LINES MAY TERMINATE AT EXISTING DOT R/W BOUNDARY AND NOT CROSS THE PROPOSED WATER MAIN. SERVICE CONNECTIONS ARE SHOWN ON PROFILES TO MAKE CONTRACTOR AWARE OF THEIR PRESENCE ADJACENT TO THE PROPOSED CONSTRUCTION.
- NO PROPOSED WATER SERVICE CONNECTIONS ARE TO BE INSTALLED FOR NEW AUTUMN POND DEVELOPMENT, THE NEW DEVELOPMENT WILL BE SERVED THROUGH THE TEE AS SHOWN ON PLANS.

NEW 42-INCH DIP SHALL HAVE A MINIMUM COVER OF 4-FT AT ALL POINTS. WATER MAIN TO BE INSTALLED SUCH THAT CROWN OF PIPE IS 4-FT BELOW LOWEST POINT BETWEEN THE EOP AND THE OUTSIDE BOUNDARY OF THE NEW WATER MAIN EASEMENT.

CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING 12-INCH WATER MAIN STUB OUT PRIOR TO INSTALLATION OF TEE FOR CONNECTION.

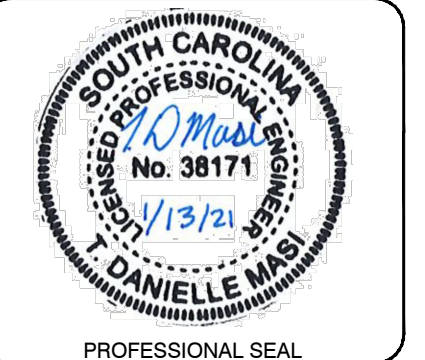
CONTRACTOR TO DEFLECT PIPE UP TO LIMITATIONS SET FORTH IN MANUFACTURERS SPECIFICATIONS IN ORDER TO AVOID INSTALLATION OF FITTINGS.

**PROFILE**  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

**WK DICKSON**  
community infrastructure consultants

1320 MAIN STREET  
SUITE 400  
COLUMBIA, SC 29201  
(803) 786-4261  
(803) 786-4263

WWW.WKDICKSON.COM



NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

**PROJECT NAME:** WATER SYSTEM IMPROVEMENTS ALONG RIMER POND AND HARD SCRABBLE ROADS  
FOR CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA

**DRAWING TITLE:** 42-INCH WM PLAN & PROFILE - STA. 189+00 THRU 200+00

**PROJ. MGR.:** BCW  
**DESIGN BY:** SMH / TDM  
**DRAWN BY:** TDM  
**PROJ. DATE:** 1/13/2021  
**DRAWING NUMBER:** C15  
**WKD PROJ. NO.:** 20190471.00.CA





NO.	DATE	DESCRIPTION

**DRAWING STATUS - FOR BID**

PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMMER POND AND HARD SCRABBLE ROADS  
FOR CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA  
DRAWING TITLE: 42-INCH WM PLAN & PROFILE - STA. 200+00 THRU 204+19

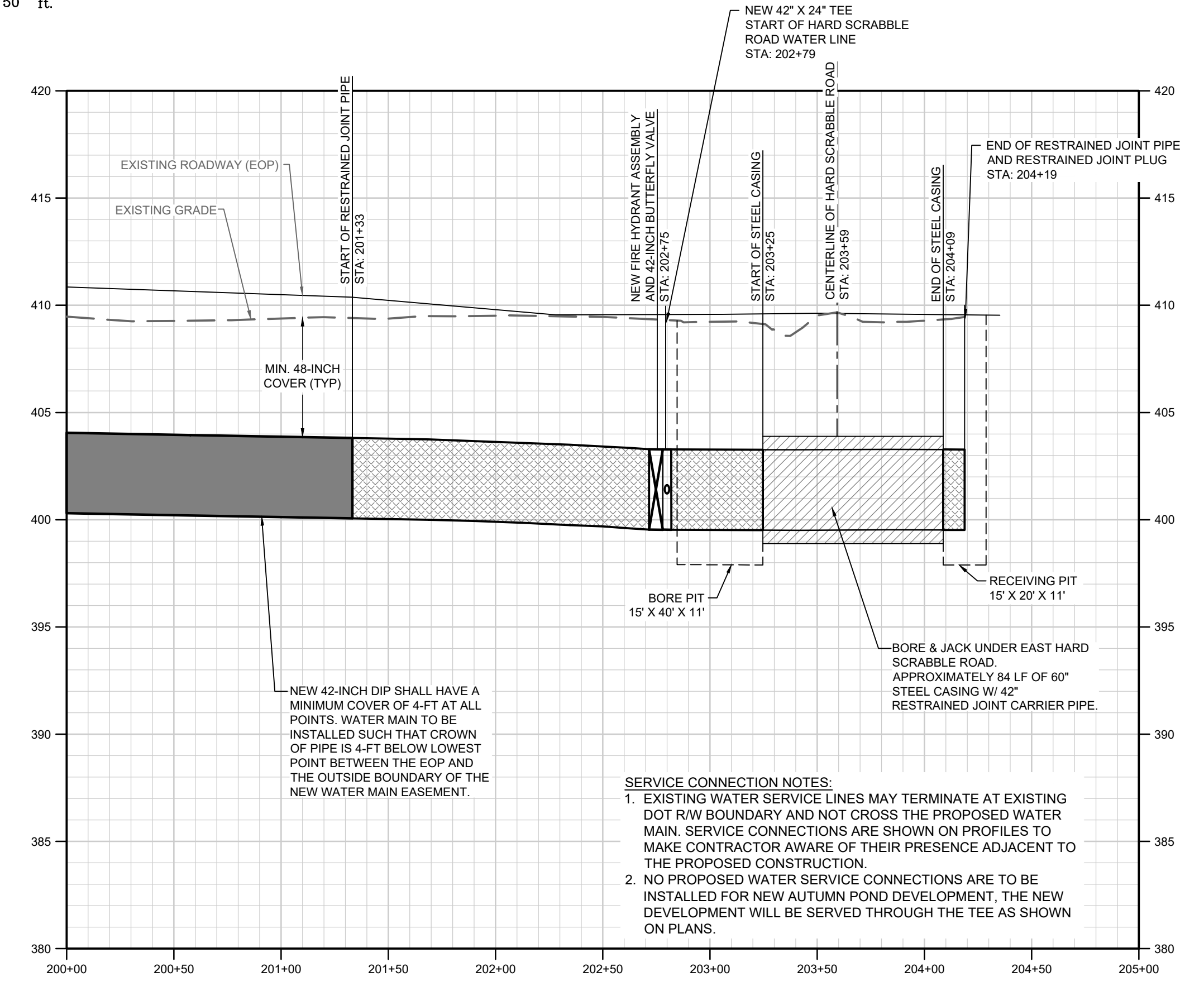
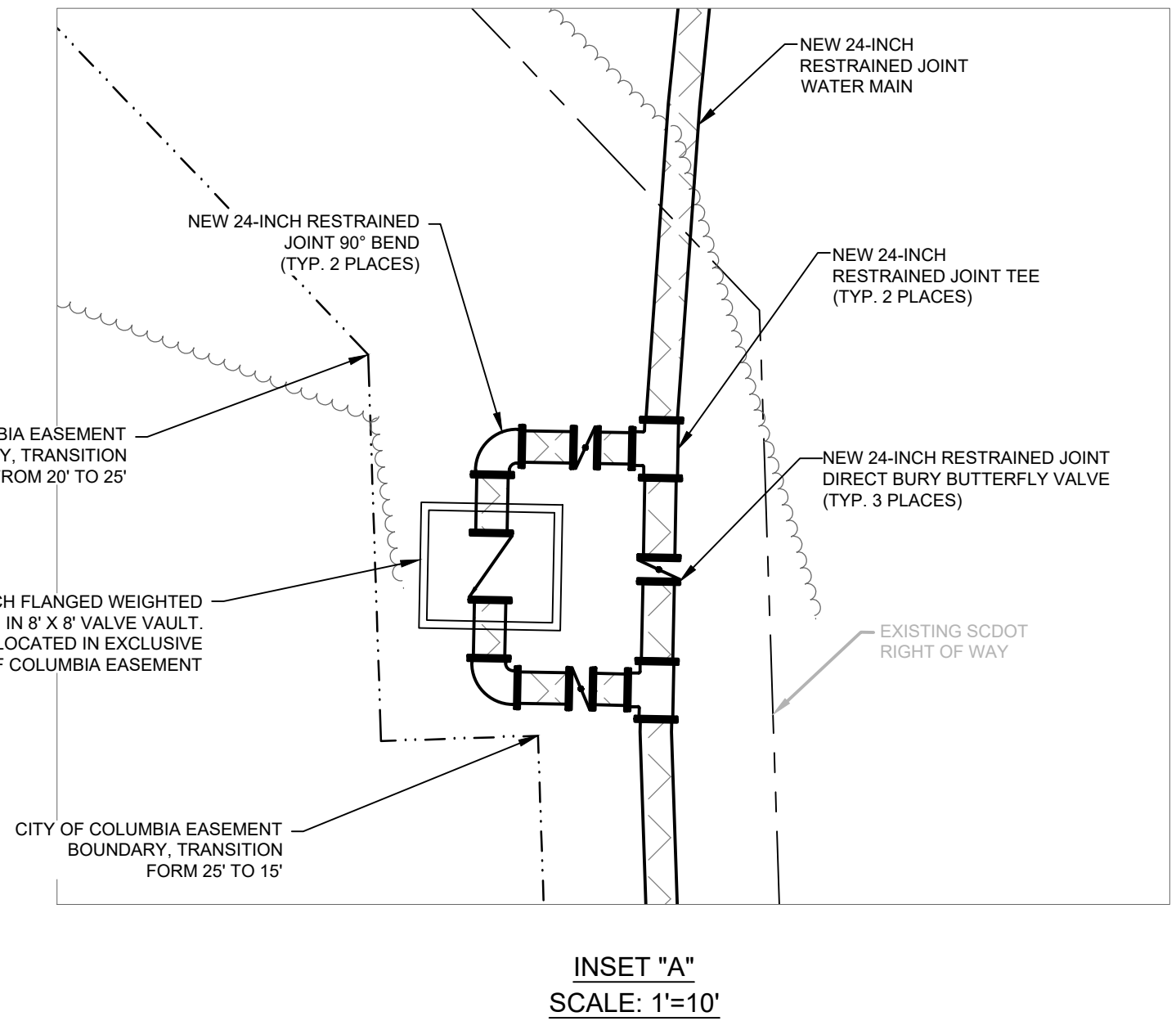
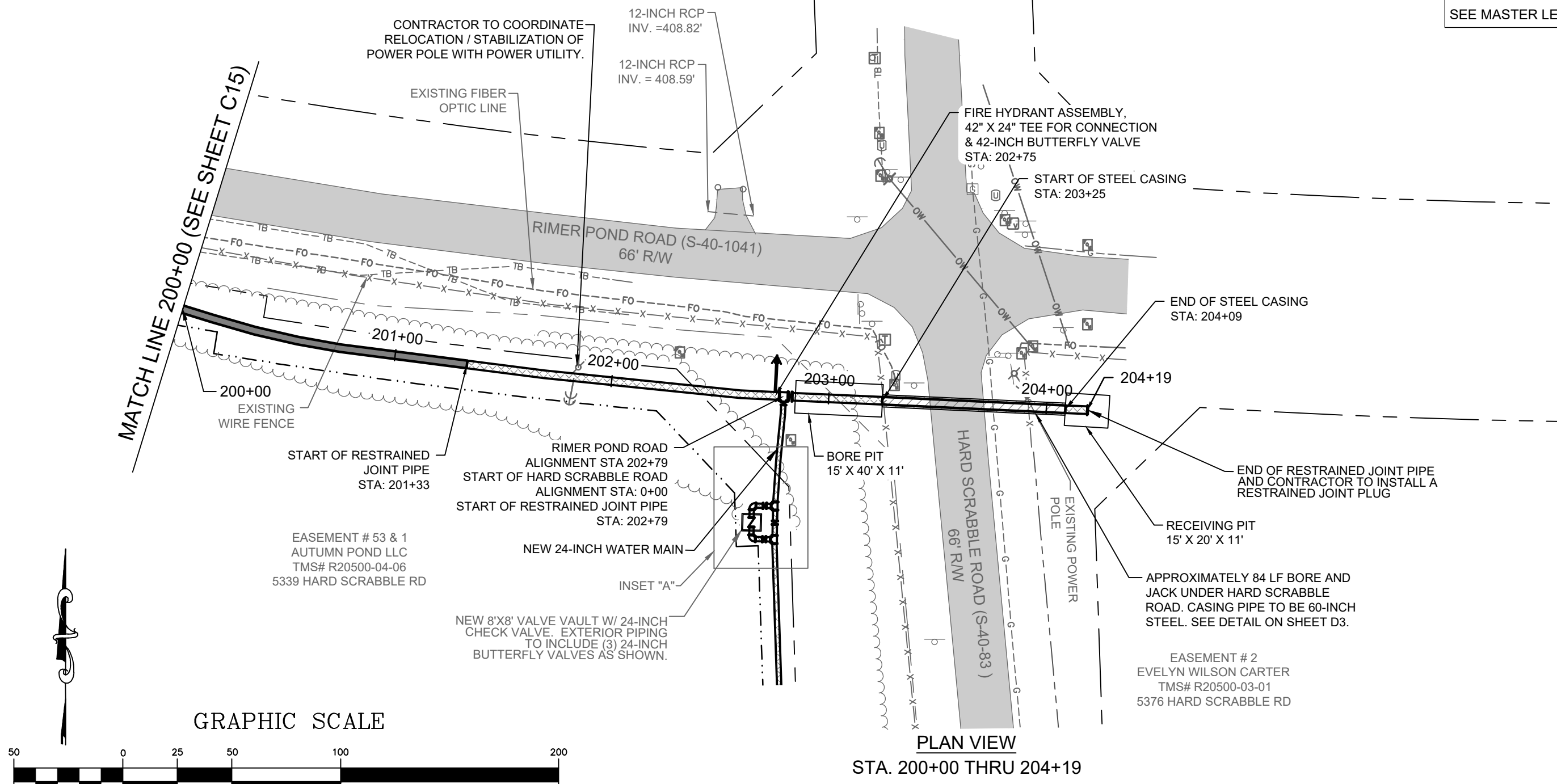
PROJ. MGR.: BCW  
DESIGN BY: SMH / TDM  
DRAWN BY: TDM  
PROJ. DATE: 1/13/2021  
DRAWING NUMBER:

**C16**

WKD PROJ. NO.: 20190471.00.CA

ESTIMATED CLEARING BETWEEN STA: 200+00 AND 202+35 ~ 0.12 ACRE

PLAN VIEW PIPE LEGEND:  
  
SEE MASTER LEGEND ON SHEET G2



- NOTES:**
- CONTRACTOR TO CLEAR TREES AND BRUSH WITHIN PROPOSED CITY OF COLUMBIA EASEMENT UNLESS OTHERWISE SPECIFIED ON THE CONSTRUCTION PLANS OR IN AREAS MARKED AS WETLANDS.
  - ALL DRIVEWAYS TO BE CUT AND REPAIRED TO PRE-CONSTRUCTION CONDITION. CONTRACTOR TO COORDINATE WITH PROPERTY OWNERS TO ENSURE ACCESS TO PROPERTY DURING CONSTRUCTION.
  - CONTRACTOR TO DEFLECT WATER MAIN UP TO MANUFACTURERS SPECIFICATION AT PIPE JOINTS TO ENSURE WATER MAIN REMAINS CENTERED IN PROPOSED EASEMENT UNLESS OTHERWISE SPECIFIED ON CONSTRUCTION PLANS. WATER MAIN TO BE TYPICALLY INSTALLED 10 FEET FROM SCDOT RIGHT-OF-WAY UNLESS OTHERWISE SPECIFIED ON CONSTRUCTION PLANS.
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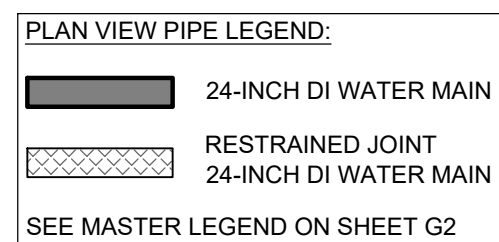
811 or 888-721-7877  
www.sc811.com

FILED IN THE OFFICE OF THE CLERK OF THE COURT, RICHLAND COUNTY, SOUTH CAROLINA, ON 01/13/2021 AT 10:00 AM. BY: [Signature]



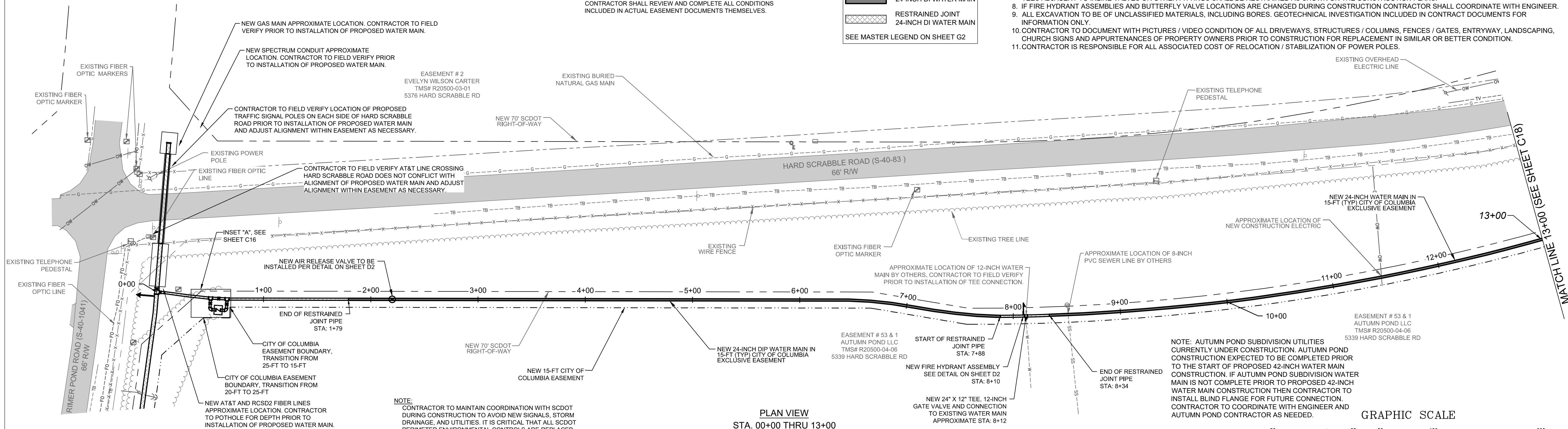
ESTIMATED CLEARING BETWEEN STA: 0+00 AND 13+00 ~ 0.45 ACRE

- EASEMENT NOTES:**
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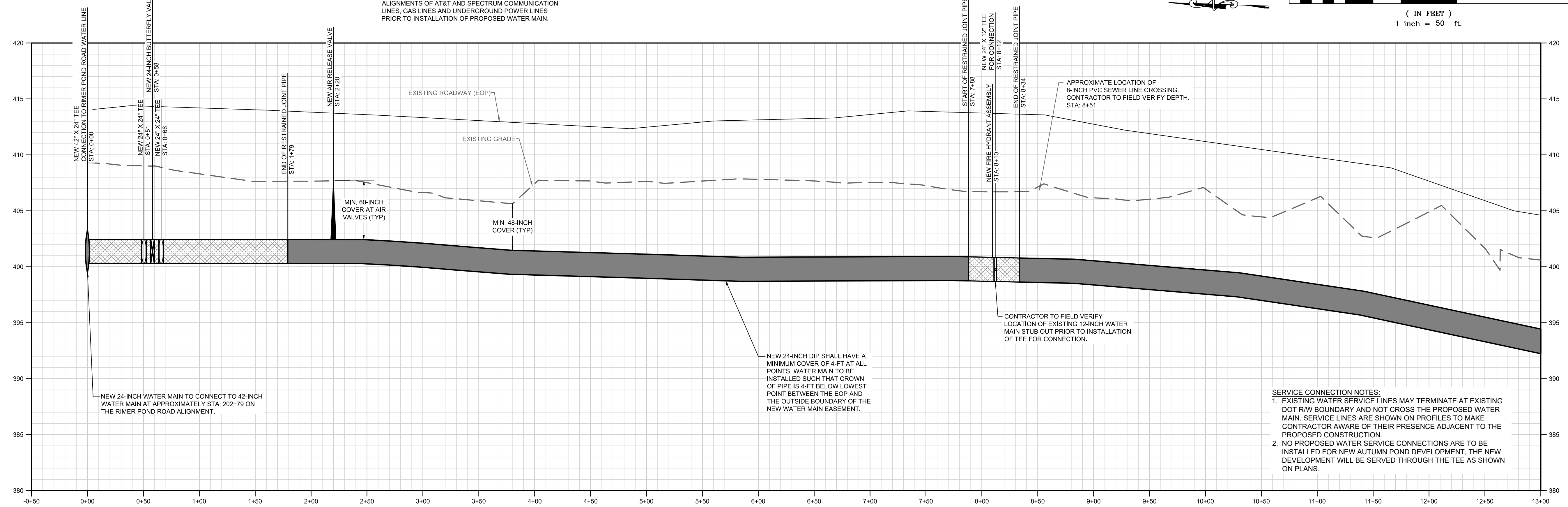
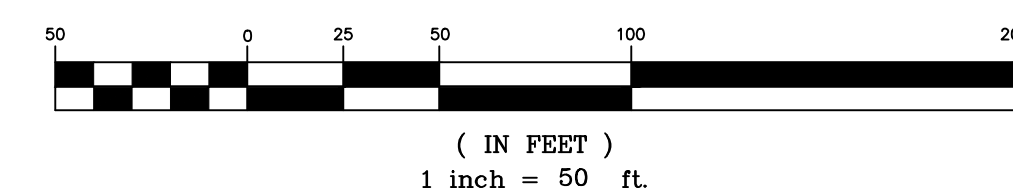


PLAN VIEW  
STA. 00+00 THRU 13+00

**NOTE:**  
CONTRACTOR TO MAINTAIN COORDINATION WITH SCDOT DURING CONSTRUCTION TO AVOID NEW SIGNALS, STORM DRAINAGE, AND UTILITIES. IT IS CRITICAL THAT ALL SCDOT PERIMETER ENVIRONMENTAL CONTROLS ARE REPLACED IMMEDIATELY BY THE CITY CONTRACTOR THROUGHOUT CONSTRUCTION. CONTRACTOR TO VERIFY DEPTHS AND ALIGNMENTS OF AT&T AND SPECTRUM COMMUNICATION LINES, GAS LINES AND UNDERGROUND POWER LINES PRIOR TO INSTALLATION OF PROPOSED WATER MAIN.

**NOTE:** AUTUMN POND SUBDIVISION UTILITIES CURRENTLY UNDER CONSTRUCTION. AUTUMN POND CONSTRUCTION EXPECTED TO BE COMPLETED PRIOR TO THE START OF PROPOSED 42-INCH WATER MAIN CONSTRUCTION. IF AUTUMN POND SUBDIVISION WATER MAIN IS NOT COMPLETE PRIOR TO PROPOSED 42-INCH WATER MAIN CONSTRUCTION THEN CONTRACTOR TO INSTALL BLIND FLANGE FOR FUTURE CONNECTION. CONTRACTOR TO COORDINATE WITH ENGINEER AND AUTUMN POND CONTRACTOR AS NEEDED.

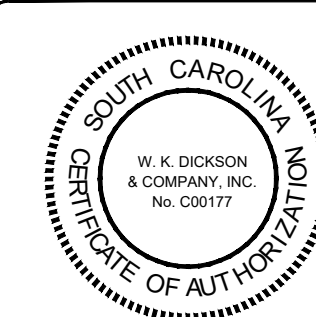
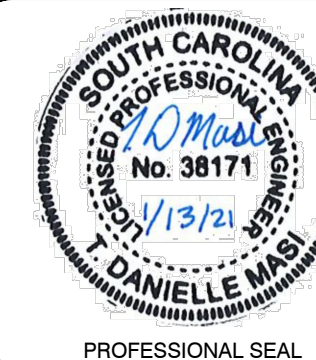
GRAPHIC SCALE



PROFILE  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

**SERVICE CONNECTION NOTES:**

- EXISTING WATER SERVICE LINES MAY TERMINATE AT EXISTING DOT R/W BOUNDARY AND NOT CROSS THE PROPOSED WATER MAIN. SERVICE LINES ARE SHOWN ON PROFILES TO MAKE CONTRACTOR AWARE OF THEIR PRESENCE ADJACENT TO THE PROPOSED CONSTRUCTION.
- NO PROPOSED WATER SERVICE CONNECTIONS ARE TO BE INSTALLED FOR NEW AUTUMN POND DEVELOPMENT. THE NEW DEVELOPMENT WILL BE SERVED THROUGH THE TEE AS SHOWN ON PLANS.



NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

**PROJECT NAME:**  
WATER SYSTEM IMPROVEMENTS ALONG RIMBER POND AND HARD SCRABBLE ROADS FOR CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA

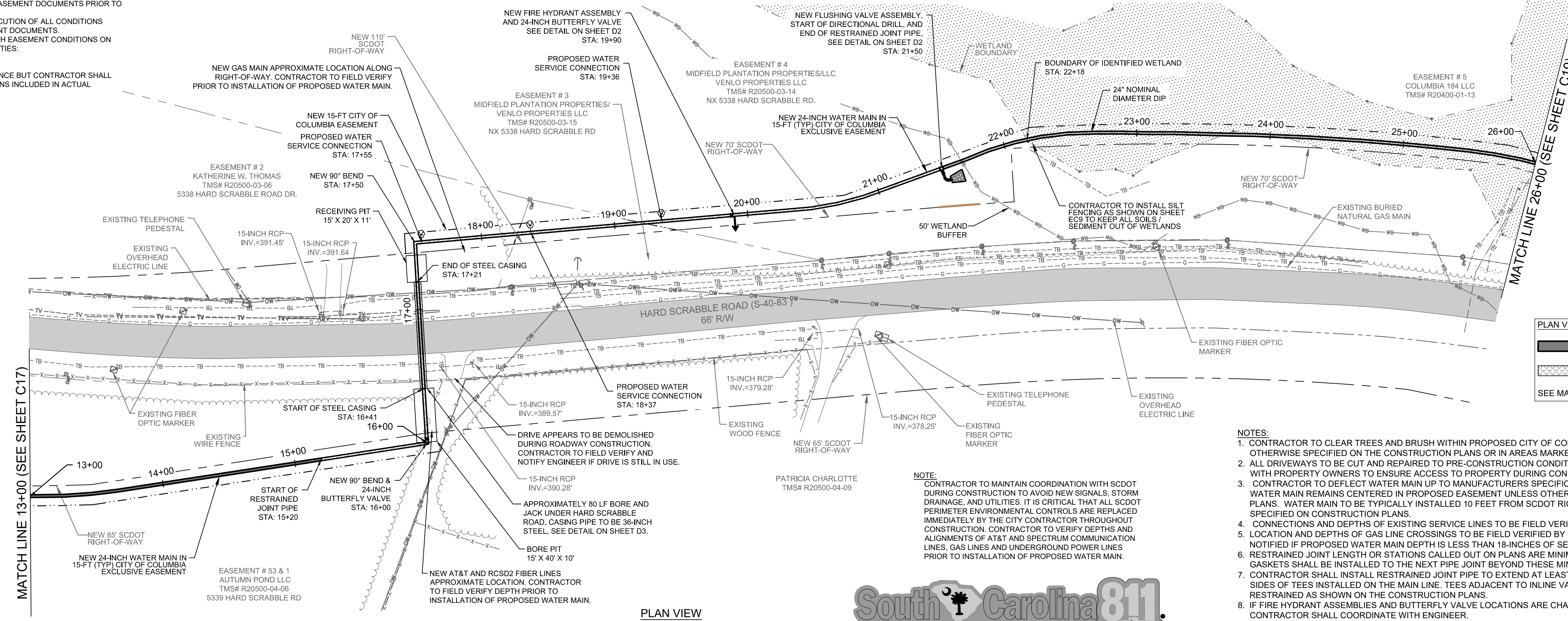
**DRAWING TITLE:**  
24-INCH WM PLAN & PROFILE - STA. 0+00 THRU 13+00

**PROJ. MGR.:** BCW  
**DESIGN BY:** SMH / TDM  
**DRAWN BY:** TDM  
**PROJ. DATE:** 1/13/2021  
**DRAWING NUMBER:**  
**C17**  
**WKD PROJ. NO.:**  
20190471.00.CA

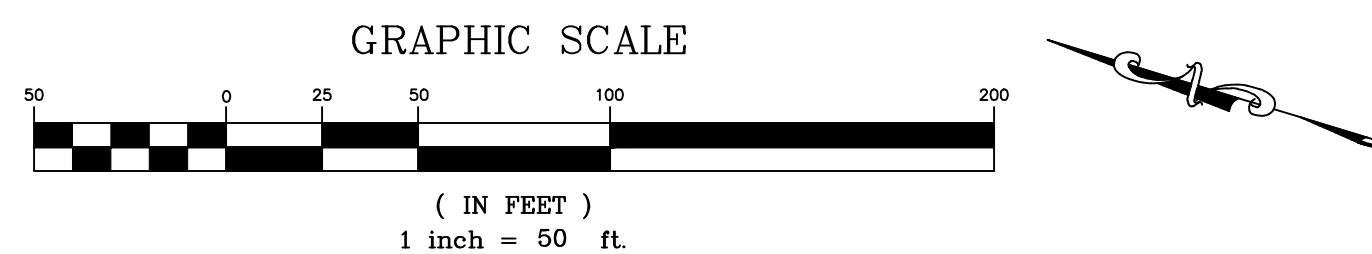


**EASEMENT NOTES:**  
 1. CONTRACTOR TO REVIEW ALL FINAL EASEMENT DOCUMENTS PRIOR TO START OF CONSTRUCTION.  
 2. CONTRACTOR RESPONSIBLE FOR EXECUTION OF ALL CONDITIONS INCLUDED IN THE RECORDED EASEMENT DOCUMENTS.  
 3. SEE TABLE SHOWING PROPERTIES WITH EASEMENT CONDITIONS ON SHEET D5 AND D6, INCLUDING PROPERTIES:  
 • TMS# R20500-03-06  
 • TMS# R20400-01-13  
 THIS TABLE IS PROVIDED FOR REFERENCE BUT CONTRACTOR SHALL REVIEW AND COMPLETE ALL CONDITIONS INCLUDED IN ACTUAL EASEMENT DOCUMENTS THEMSELVES.

**ESTIMATED CLEARING BETWEEN STA: 13+00 AND 22+05 ~ 0.28 ACRE**



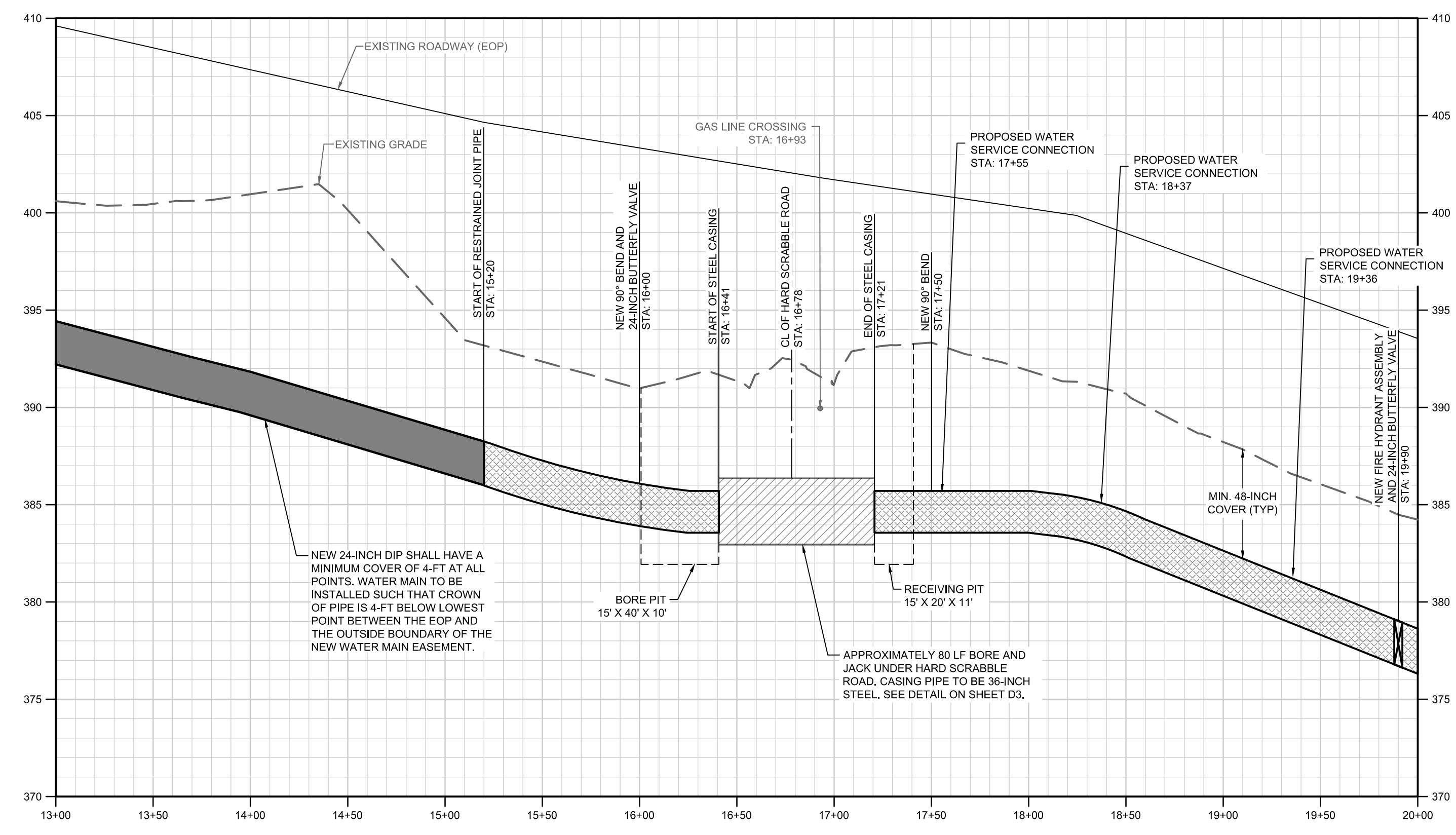
**PLAN VIEW PIPE LEGEND:**  
 [Solid line] 24-INCH DI WATER MAIN  
 [Dashed line] RESTRAINED JOINT  
 [Dotted line] 24-INCH DI WATER MAIN  
 SEE MASTER LEGEND ON SHEET G2



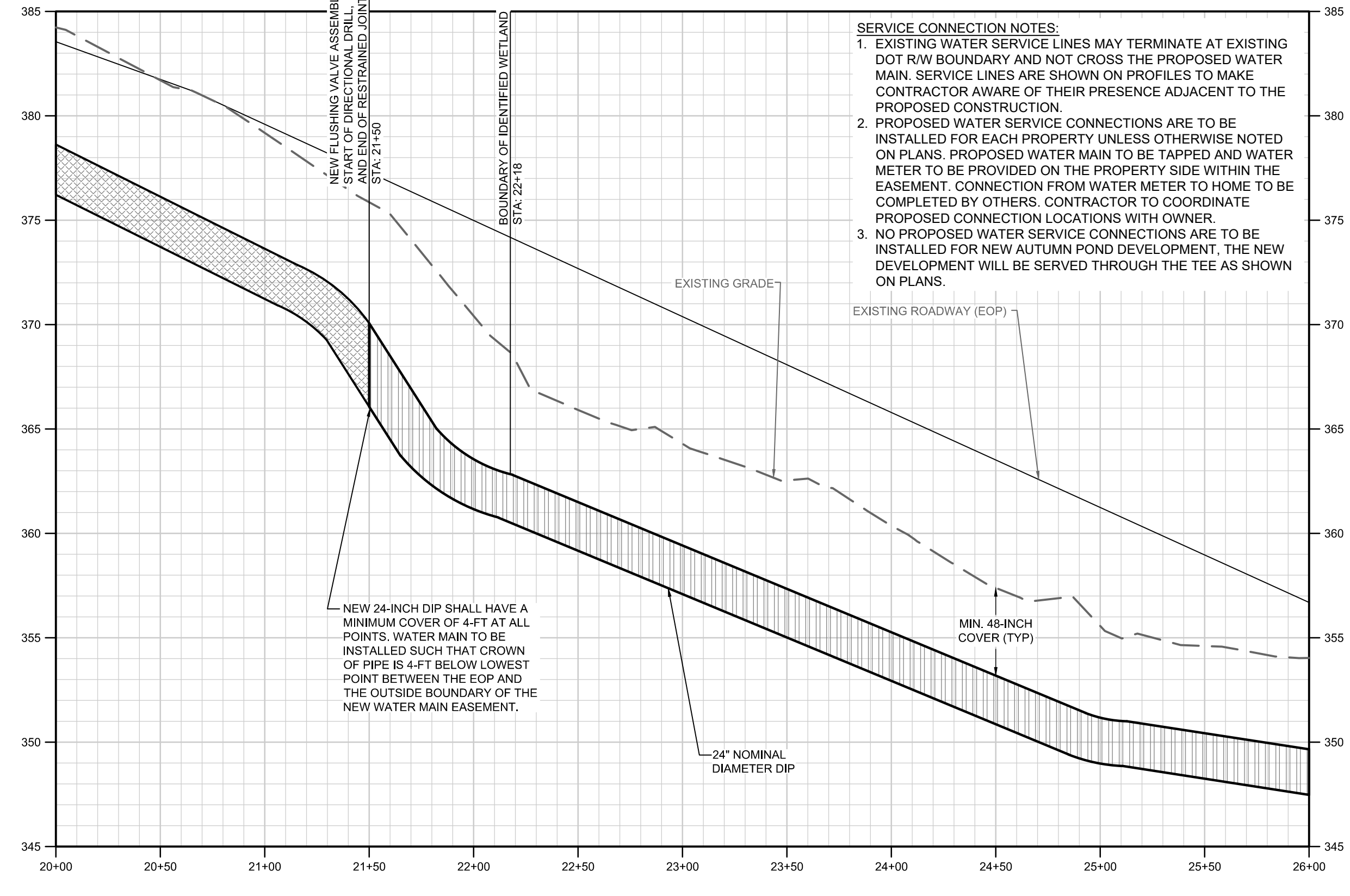
**PLAN VIEW**  
 STA. 13+00 THRU 26+00

**South Carolina 811**  
 Call 811 Before You Dig  
 811 or 888-721-7877  
 www.sc811.com

- NOTES:**
- CONTRACTOR TO CLEAR TREES AND BRUSH WITHIN PROPOSED CITY OF COLUMBIA EASEMENT UNLESS OTHERWISE SPECIFIED ON THE CONSTRUCTION PLANS OR IN AREAS MARKED AS WETLANDS.
  - ALL DRIVEWAYS TO BE CUT AND REPAIRED TO PRE-CONSTRUCTION CONDITION. CONTRACTOR TO COORDINATE WITH PROPERTY OWNERS TO ENSURE ACCESS TO PROPERTY DURING CONSTRUCTION.
  - CONTRACTOR TO DEFLECT WATER MAIN UP TO MANUFACTURERS SPECIFICATION AT PIPE JOINTS TO ENSURE WATER MAIN REMAINS CENTERED IN PROPOSED EASEMENT UNLESS OTHERWISE SPECIFIED ON CONSTRUCTION PLANS. WATER MAIN TO BE TYPICALLY INSTALLED 10 FEET FROM SCODOT RIGHT-OF-WAY UNLESS OTHERWISE SPECIFIED ON CONSTRUCTION PLANS.
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**PROFILE**  
 SCALE: 1" = 50' HORIZONTAL  
 1" = 5' VERTICAL



- SERVICE CONNECTION NOTES:**
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  - PROPOSED WATER SERVICE CONNECTIONS ARE TO BE INSTALLED FOR EACH PROPERTY UNLESS OTHERWISE NOTED ON PLANS. PROPOSED WATER MAIN TO BE TAPPED AND WATER METER TO BE PROVIDED ON THE PROPERTY SIDE WITHIN THE EASEMENT. CONNECTION FROM WATER METER TO HOME TO BE COMPLETED BY OTHERS. CONTRACTOR TO COORDINATE PROPOSED CONNECTION LOCATIONS WITH OWNER.
  - NO PROPOSED WATER SERVICE CONNECTIONS ARE TO BE INSTALLED FOR NEW AUTUMN POND DEVELOPMENT, THE NEW DEVELOPMENT WILL BE SERVED THROUGH THE TEE AS SHOWN ON PLANS.

**WK DICKSON**  
 community infrastructure consultants  
 1320 MAIN STREET  
 SUITE 400  
 COLUMBIA, SC 29201  
 (803) 786-4261  
 (803) 786-4263  
 WWW.WKDICKSON.COM

**SOUTH CAROLINA**  
 PROFESSIONAL SEAL  
 No. 38171  
 1/13/21  
 DANIELLE MAZUR  
 PROFESSIONAL SEAL

**SOUTH CAROLINA**  
 CERTIFICATE OF AUTHORIZATION  
 W. K. DICKSON & COMPANY, INC.  
 No. 000177

**CITY OF COLUMBIA, S.C.**  
 We Are Columbia

NO.	DATE	DESCRIPTION

**DRAWING STATUS - FOR BID**

**PROJECT NAME:**  
 WATER SYSTEM IMPROVEMENTS ALONG RIMMER POND AND HARD SCRABBLE ROADS  
**FOR:**  
 CITY OF COLUMBIA  
 RICHLAND COUNTY, SOUTH CAROLINA  
**DRAWING TITLE:**  
 24-INCH WM PLAN & PROFILE - STA. 13+00 THRU 26+00

**PROJ. MGR.:** BCW  
**DESIGN BY:** SMH / TDM  
**DRAWN BY:** TDM  
**PROJ. DATE:** 1/13/2021  
**DRAWING NUMBER:**  
**C18**  
 WKD PROJ. NO.:  
 20190471.00.CA



**NOTES:**

- CONTRACTOR TO CLEAR TREES AND BRUSH WITHIN PROPOSED CITY OF COLUMBIA EASEMENT UNLESS OTHERWISE SPECIFIED ON THE CONSTRUCTION PLANS OR IN AREAS MARKED AS WETLANDS.
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- CONTRACTOR IS RESPONSIBLE FOR ALL ASSOCIATED COST OF RELOCATION / STABILIZATION OF POWER POLES.

**EASEMENT NOTES:**

- CONTRACTOR TO REVIEW ALL FINAL EASEMENT DOCUMENTS PRIOR TO START OF CONSTRUCTION.
  - CONTRACTOR RESPONSIBLE FOR EXECUTION OF ALL CONDITIONS INCLUDED IN THE RECORDED EASEMENT DOCUMENTS.
  - SEE TABLE SHOWING PROPERTIES WITH EASEMENT CONDITIONS ON SHEET D5 AND D6, INCLUDING PROPERTIES:
    - TMS# R20400-01-13
- THIS TABLE IS PROVIDED FOR REFERENCE BUT CONTRACTOR SHALL REVIEW AND COMPLETE ALL CONDITIONS INCLUDED IN ACTUAL EASEMENT DOCUMENTS THEMSELVES.

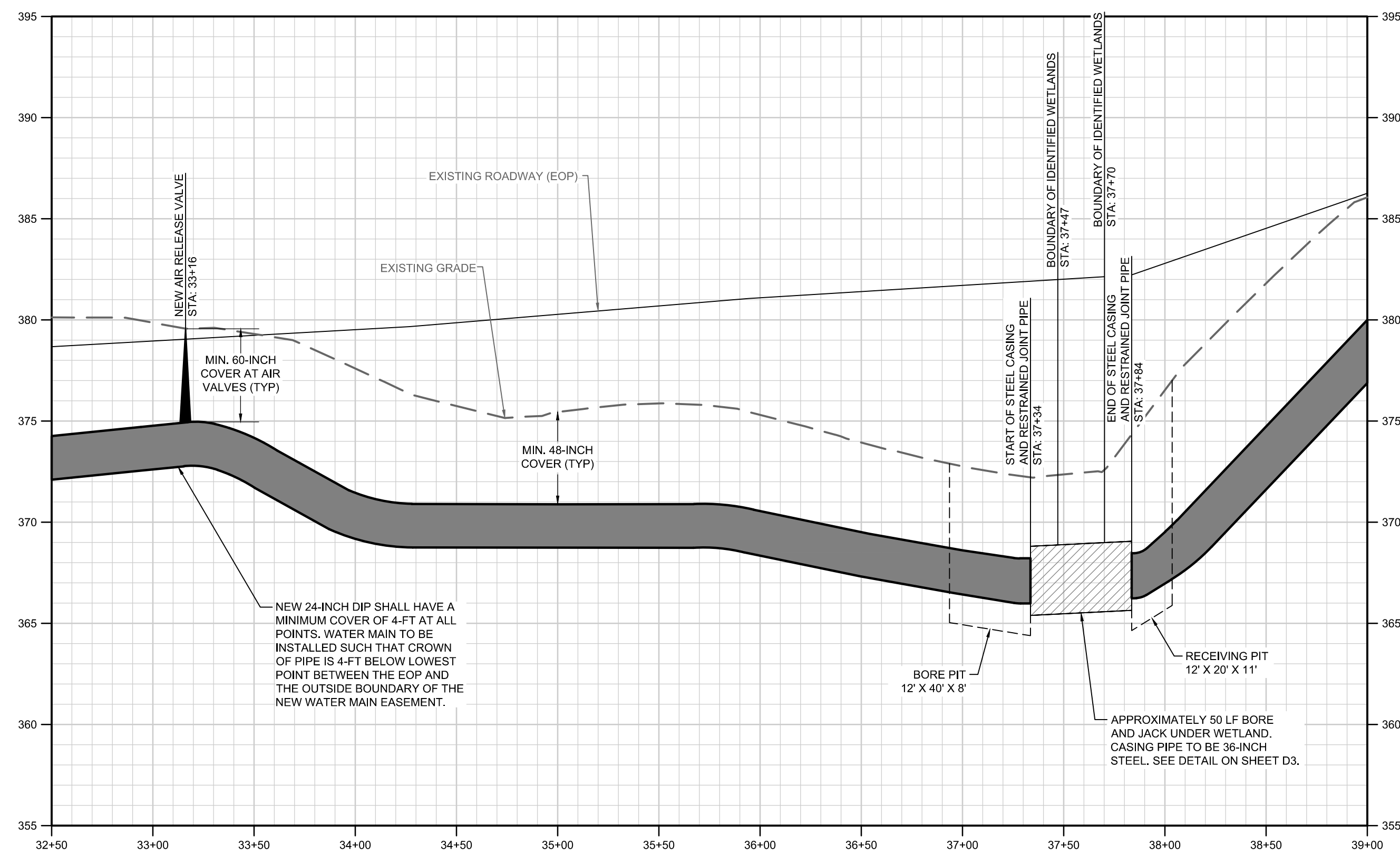
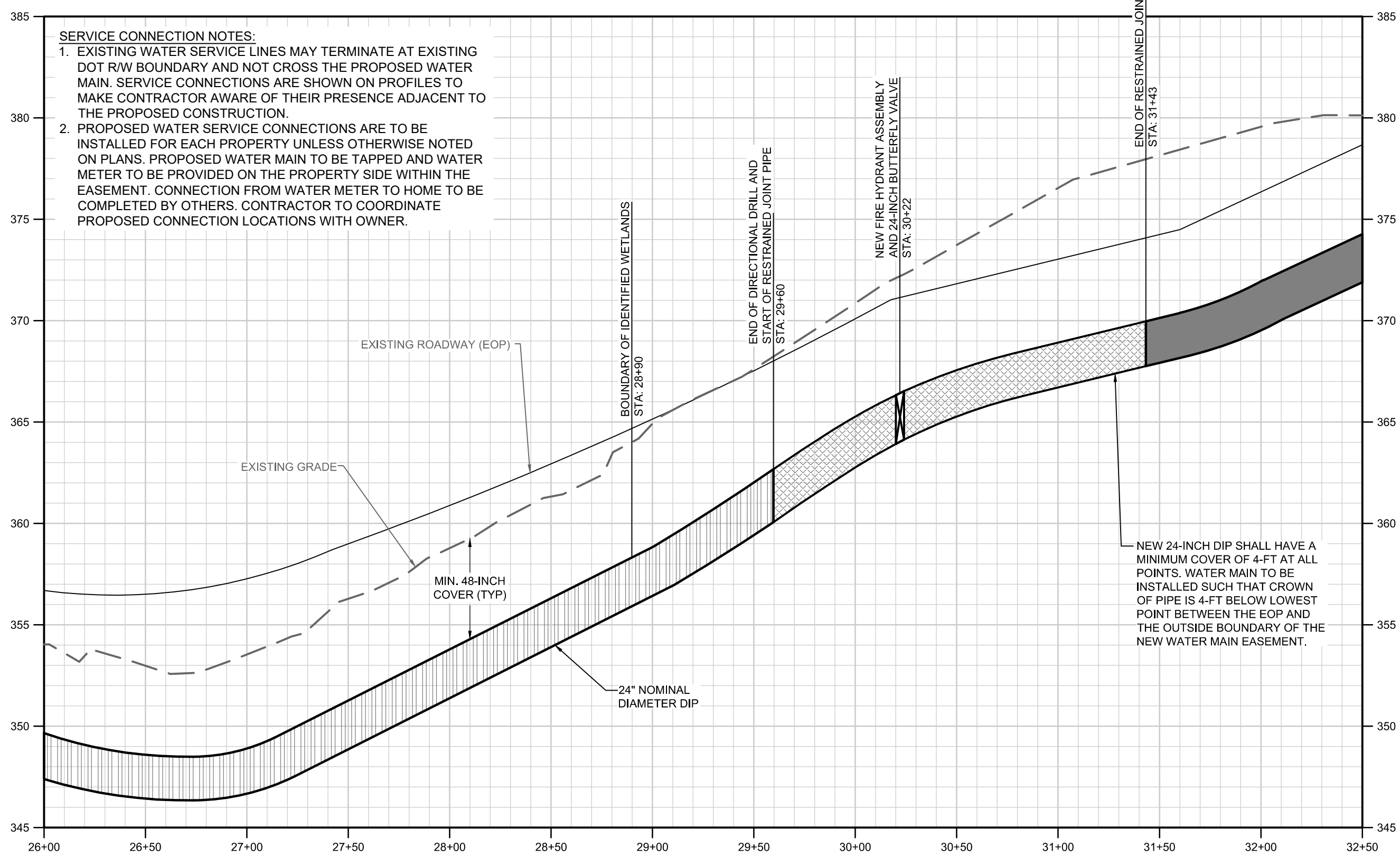
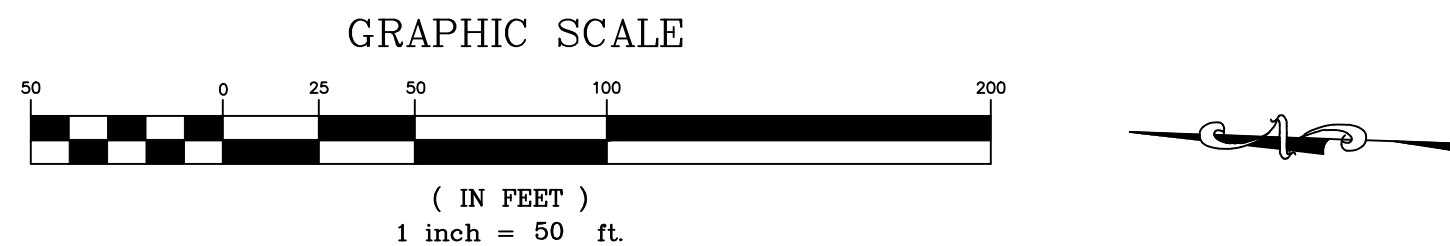
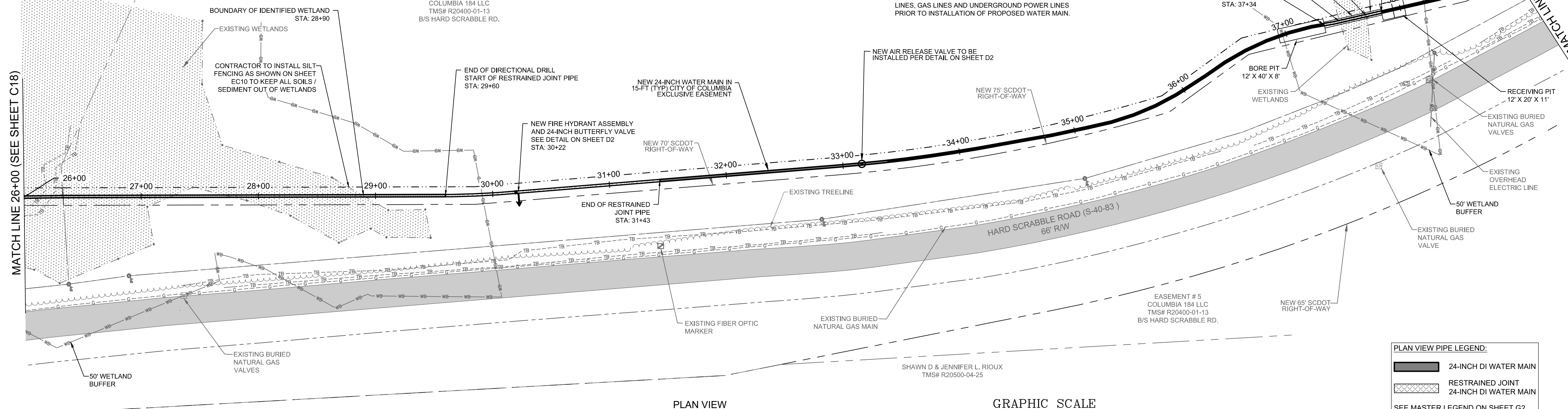


811 or 888-721-7877  
www.sc811.com

**NOTE:**

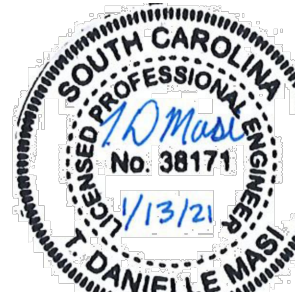
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ESTIMATED CLEARING BETWEEN STA: 29+08 AND 39+00 ~ 0.31 ACRE

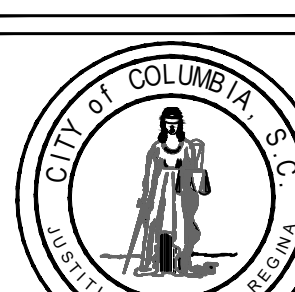


1320 MAIN STREET  
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COLUMBIA, SC 29201  
(803) 786-4261  
(803) 786-4263

WWW.WKDICKSON.COM



PROFESSIONAL SEAL



We Are Columbia

NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMMER POND AND HARD SCRABBLE ROADS  
FOR CITY OF COLUMBIA  
RICHLAND COUNTY, SOUTH CAROLINA  
DRAWING TITLE: 24-INCH WM PLAN & PROFILE - STA. 26 + 00 THRU 39 + 00

PROJ. MGR.: BCW  
DESIGN BY: SMH / TDM  
DRAWN BY: TDM  
PROJ. DATE: 1/13/2021  
DRAWING NUMBER:

**C19**

WKD PROJ. NO.: 20190471.00.CA





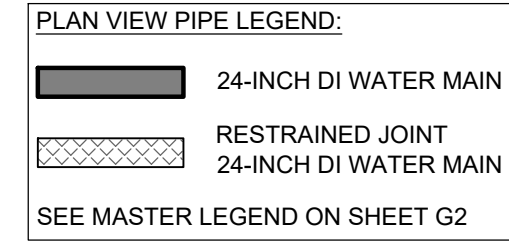




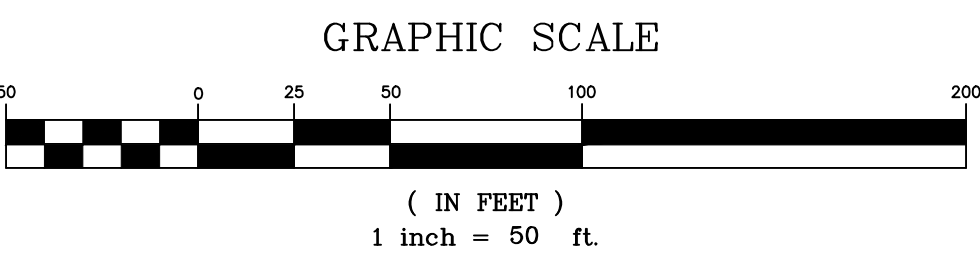
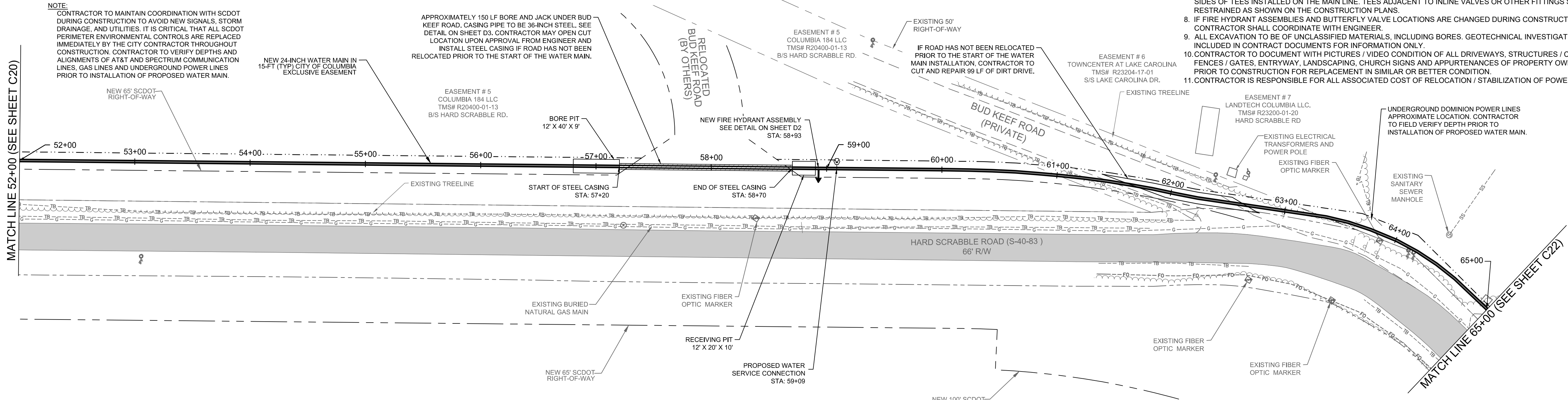
811 or 888-721-7877  
www.sc811.com

**ESTIMATED CLEARING BETWEEN STA: 52+00 AND 64+94 ~ 0.33 ACRE**

- EASEMENT NOTES:**
- CONTRACTOR TO REVIEW ALL FINAL EASEMENT DOCUMENTS PRIOR TO START OF CONSTRUCTION.
  - CONTRACTOR RESPONSIBLE FOR EXECUTION OF ALL CONDITIONS INCLUDED IN THE RECORDED EASEMENT DOCUMENTS.
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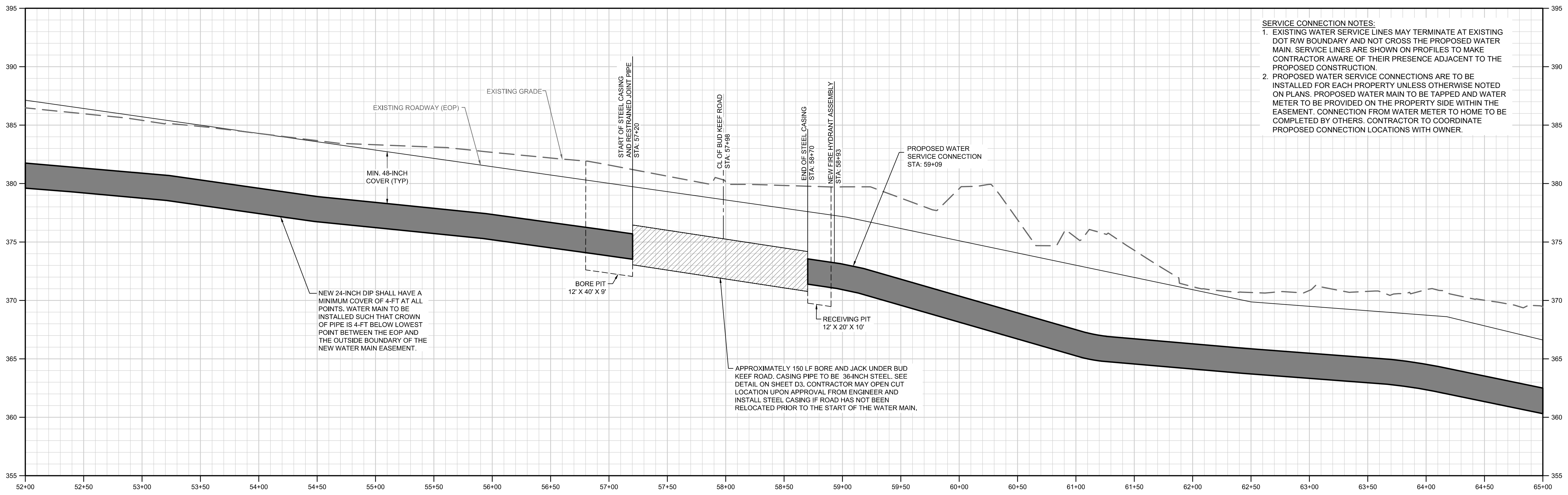


- NOTES:**
- CONTRACTOR TO CLEAR TREES AND BRUSH WITHIN PROPOSED CITY OF COLUMBIA EASEMENT UNLESS OTHERWISE SPECIFIED ON THE CONSTRUCTION PLANS OR IN AREAS MARKED AS WETLANDS.
  - ALL DRIVEWAYS TO BE CUT AND REPAIRED TO PRE-CONSTRUCTION CONDITION. CONTRACTOR TO COORDINATE WITH PROPERTY OWNERS TO ENSURE ACCESS TO PROPERTY DURING CONSTRUCTION.
  - CONTRACTOR TO DEFLECT WATER MAIN UP TO MANUFACTURERS SPECIFICATION AT PIPE JOINTS TO ENSURE WATER MAIN REMAINS CENTERED IN PROPOSED EASEMENT UNLESS OTHERWISE SPECIFIED ON CONSTRUCTION PLANS.
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**PLAN VIEW**  
STA. 52+00 THRU 65+00

- SERVICE CONNECTION NOTES:**
- EXISTING WATER SERVICE LINES MAY TERMINATE AT EXISTING DOT R/W BOUNDARY AND NOT CROSS THE PROPOSED WATER MAIN. SERVICE LINES ARE SHOWN ON PROFILES TO MAKE CONTRACTOR AWARE OF THEIR PRESENCE ADJACENT TO THE PROPOSED CONSTRUCTION.
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**PROFILE**  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

**WK DICKSON**  
community infrastructure consultants

1320 MAIN STREET  
SUITE 400  
COLUMBIA, SC 29201  
(803) 786-4261  
(803) 786-4263  
WWW.WKDICKSON.COM

**SOUTH CAROLINA PROFESSIONAL SEAL**  
No. 38171  
1/13/2021  
DANIELLE M. BROWN

**SOUTH CAROLINA CERTIFICATE OF AUTHORITY**  
W. K. DICKSON & COMPANY, INC.  
No. 000177

**CITY OF COLUMBIA, S.C.**  
We Are Columbia

NO.	DATE	DESCRIPTION	BY

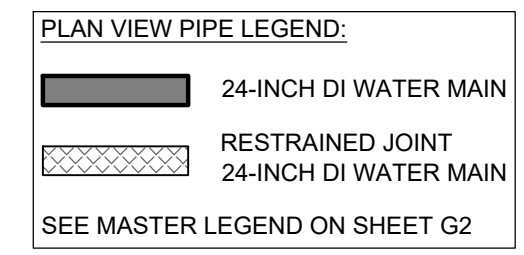
**DRAWING STATUS - FOR BID**

**PROJECT NAME:** WATER SYSTEM IMPROVEMENTS ALONG RIMMER POND AND HARD SCRABBLE ROADS  
**FOR:** CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA  
**DRAWING TITLE:** 24-INCH WM PLAN & PROFILE - STA. 52+00 THRU 65+00

**PROJ. MGR.:** BCW  
**DESIGN BY:** SMH / TDM  
**DRAWN BY:** TDM  
**PROJ. DATE:** 1/13/2021  
**DRAWING NUMBER:** **C21**  
**WKD PROJ. NO.:** 20190471.00.CA



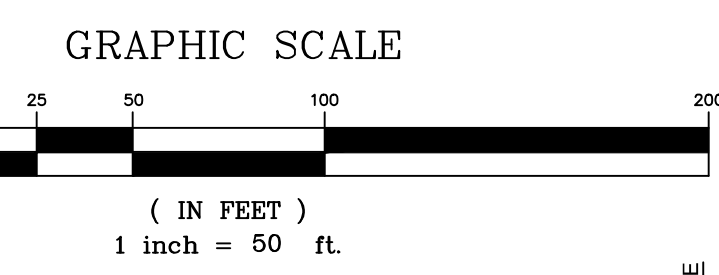
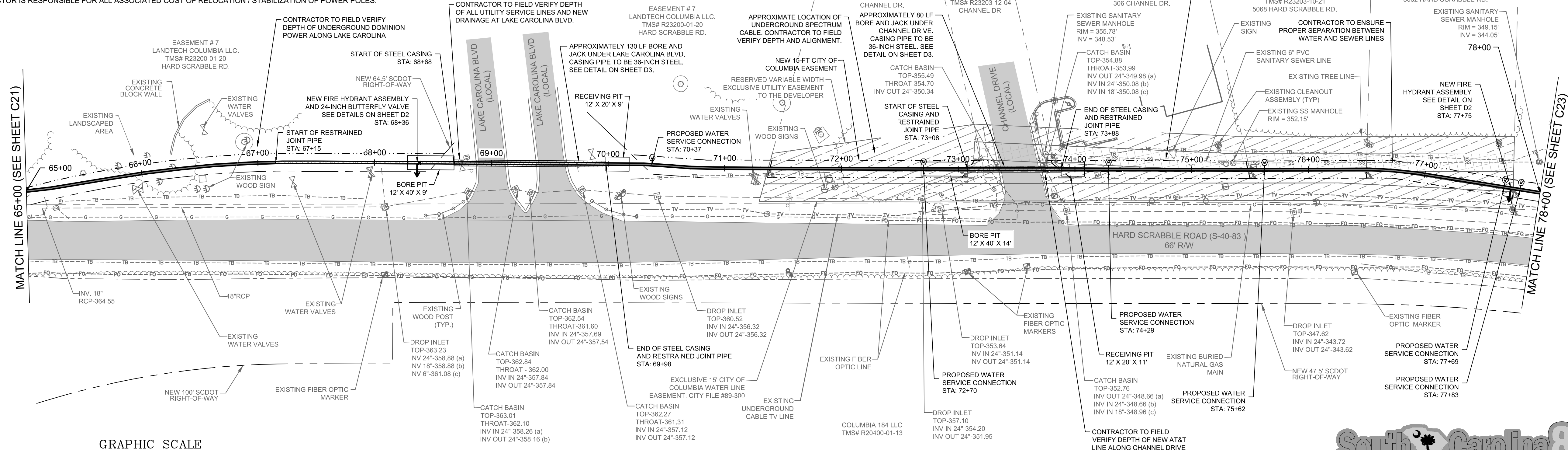
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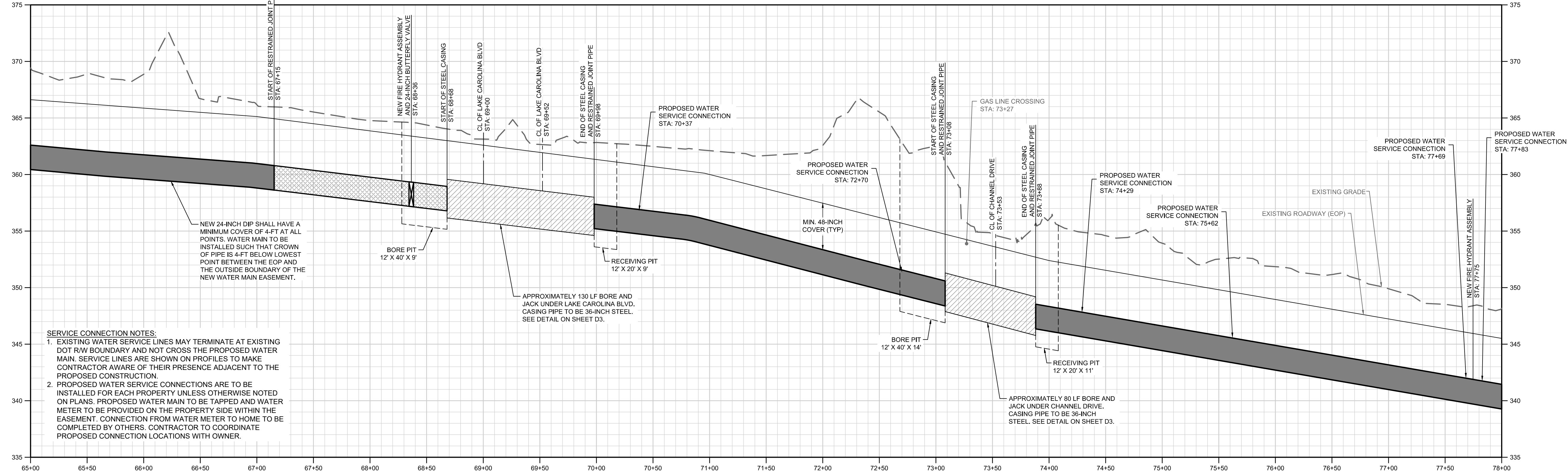
**ESTIMATED CLEARING BETWEEN STA: 65+88 AND 73+21 ~ 0.06 ACRE**

- EASEMENT NOTES:**
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**PLAN VIEW**  
STA. 65+00 THRU 78+00

**South Carolina 811**  
Call 811 - Before You Dig  
811 or 888-721-7877  
www.sc811.com



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**PROFILE**  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

**WK DICKSON**  
community infrastructure consultants

1320 MAIN STREET  
SUITE 400  
COLUMBIA, SC 29201  
(803) 786-4261  
(803) 786-4263

WWW.WKDICKSON.COM

**SOUTH CAROLINA PROFESSIONAL SEAL**  
No. 38171  
1/13/21  
DANIELLE M. BROWN

**SOUTH CAROLINA PROFESSIONAL SEAL**  
W. K. DICKSON & COMPANY, INC.  
No. 00017

**CITY OF COLUMBIA, S.C.**  
We Are Columbia

NO.	DATE	DESCRIPTION

**DRAWING STATUS - FOR BID**

**PROJECT NAME:** WATER SYSTEM IMPROVEMENTS ALONG RIMMER POND AND HARD SCRABBLE ROADS FOR CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA

**DRAWING TITLE:** 24-INCH WM PLAN & PROFILE - STA. 65 + 00 THRU 78 + 00

**PROJ. MGR.:** BCW  
**DESIGN BY:** SMH / TDM  
**DRAWN BY:** TDM  
**PROJ. DATE:** 1/13/2021  
**DRAWING NUMBER:** C22  
**WKD PROJ. NO.:** 20190471.00.CA



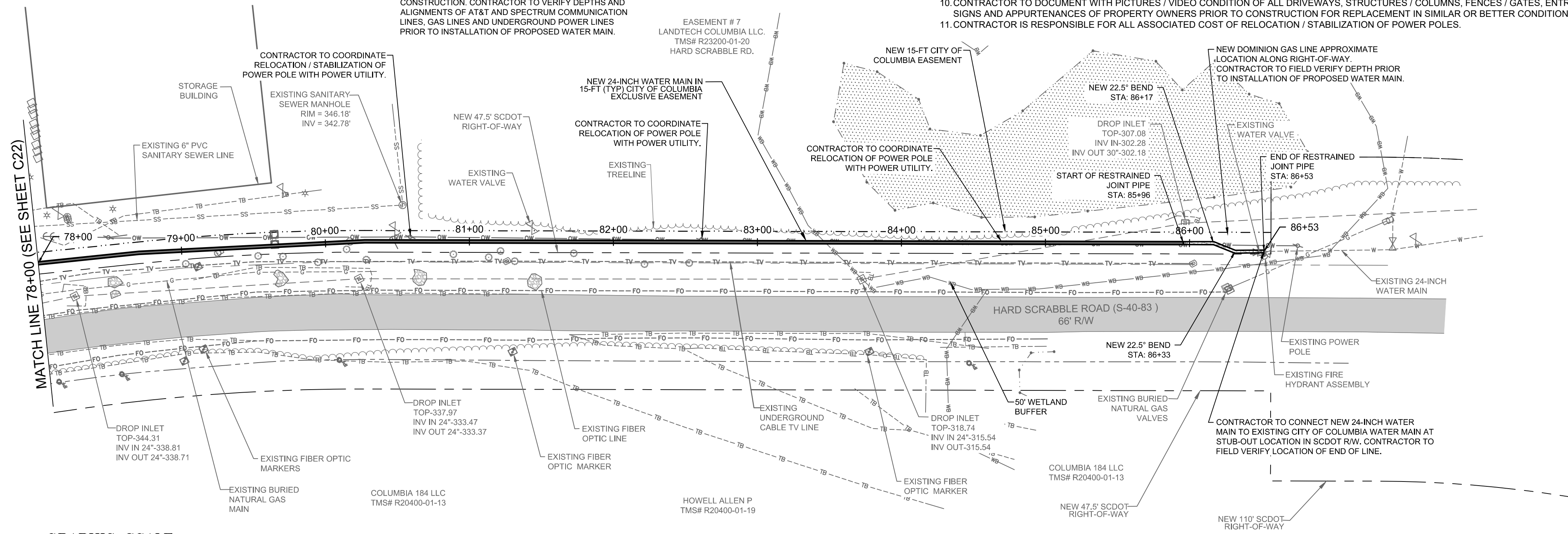


811 or 888-721-7877  
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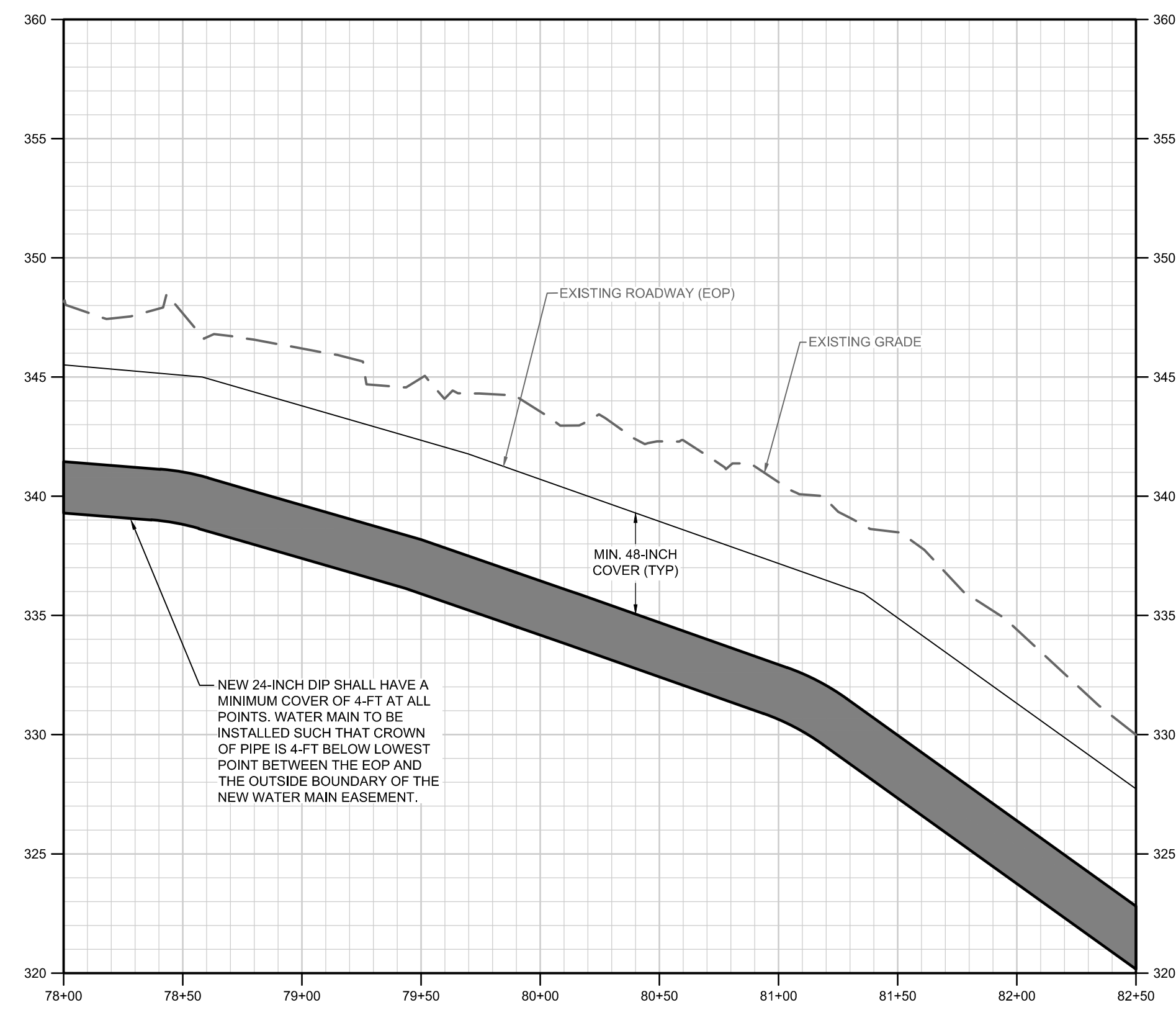
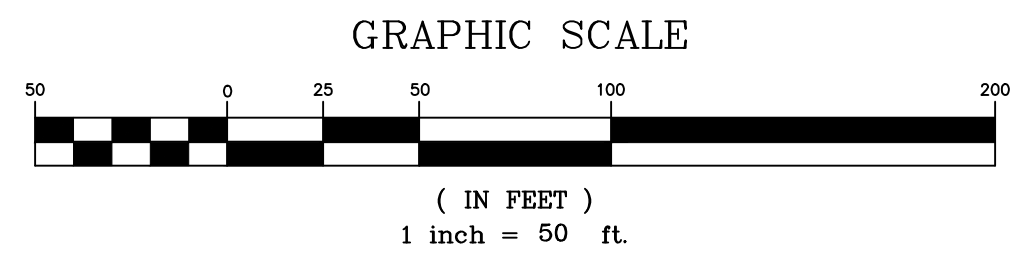
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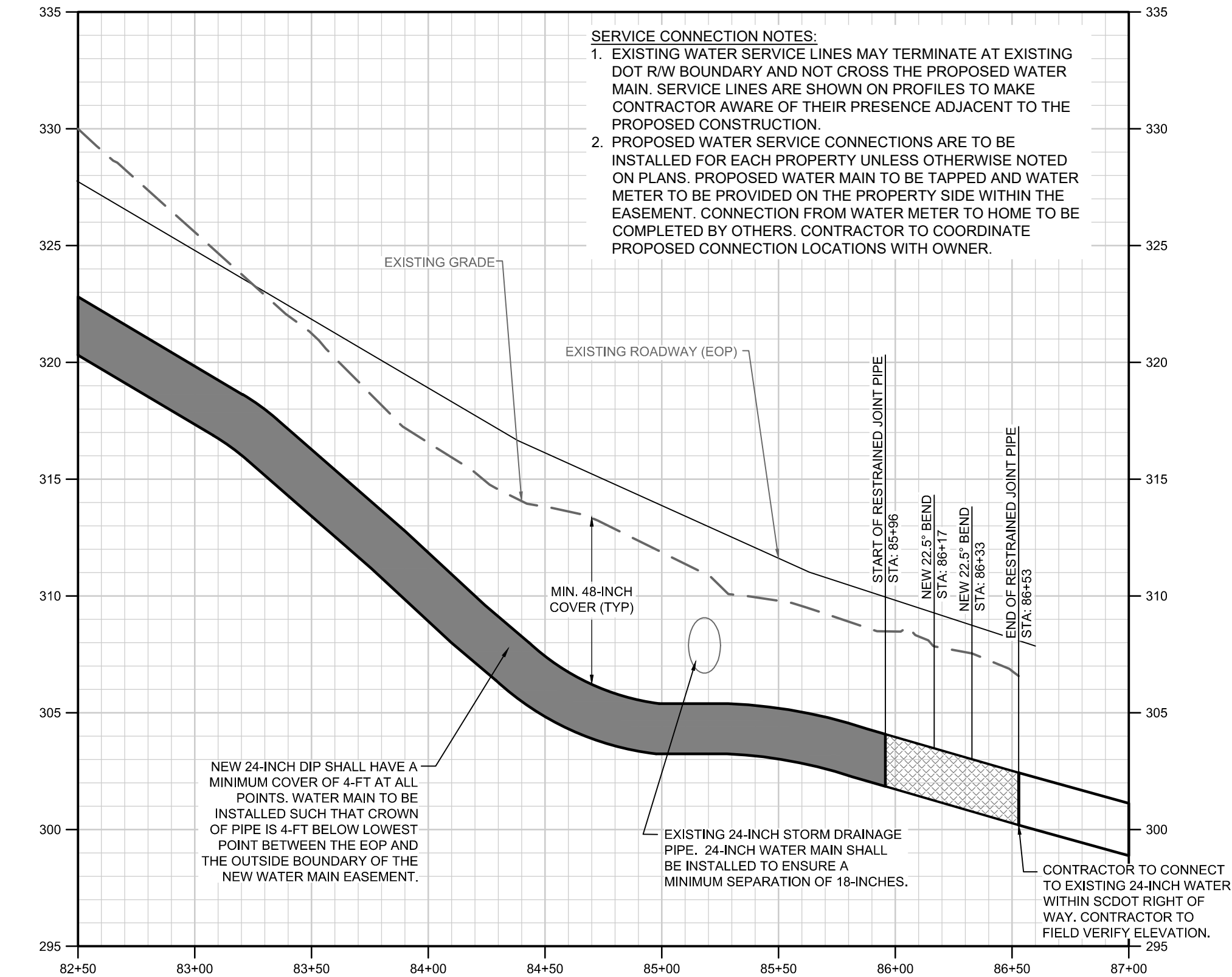
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**PLAN VIEW**  
STA. 78+00 THRU 86+53



**PROFILE**  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL



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(803) 786-4261  
(803) 786-4263  
WWW.WKDICKSON.COM



NO.	DATE	DESCRIPTION

**DRAWING STATUS - FOR BID**

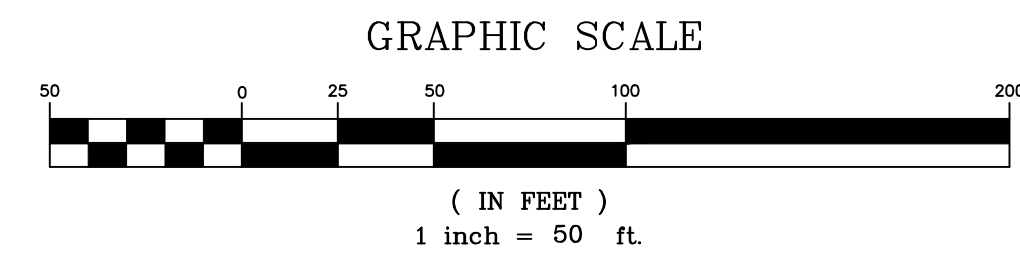
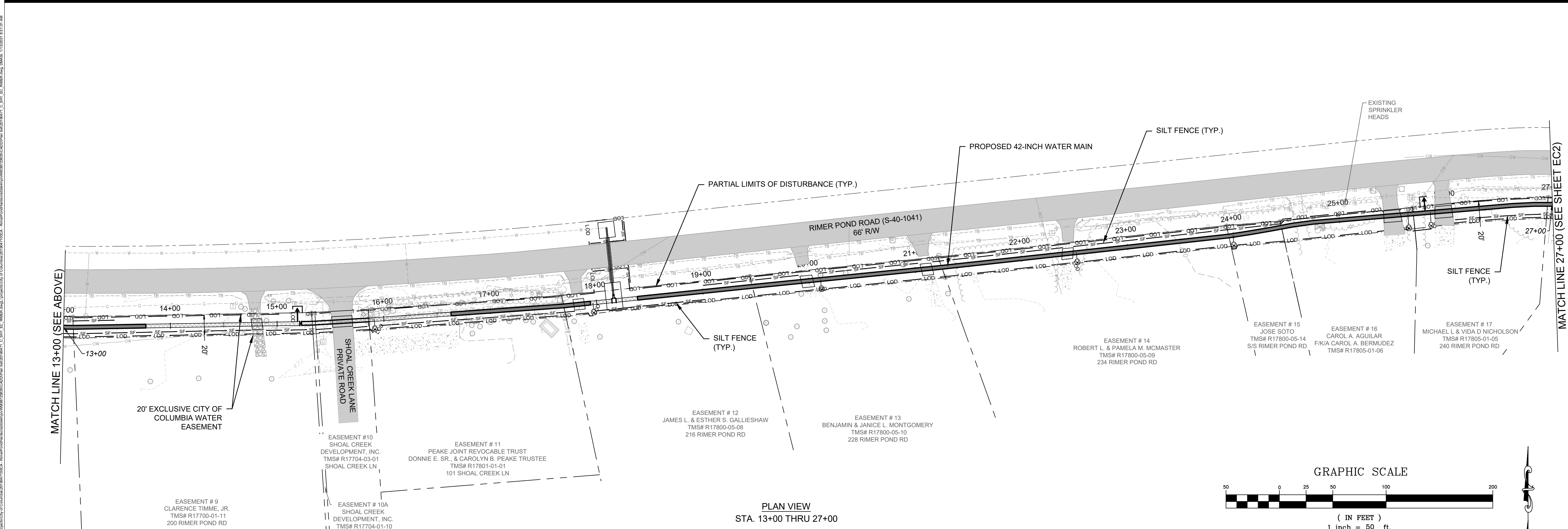
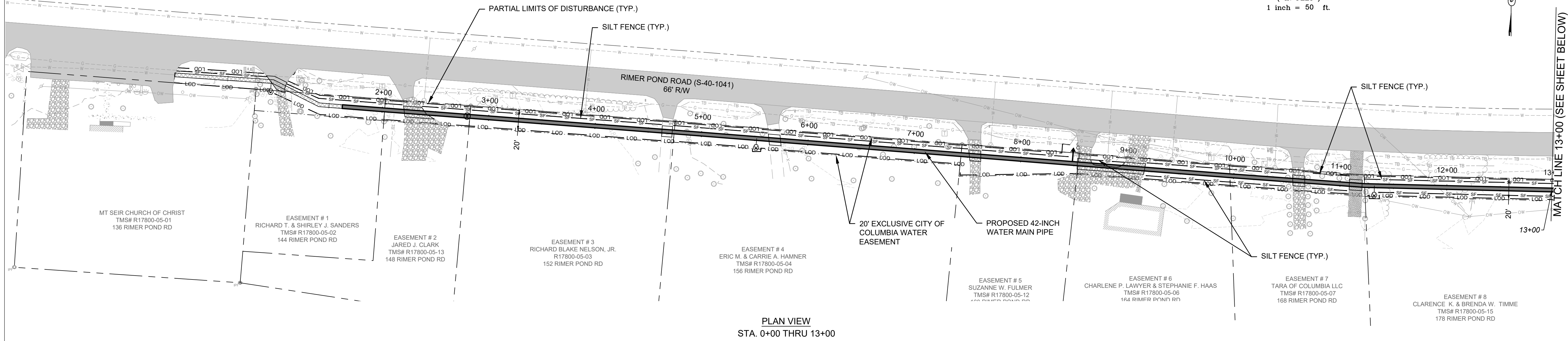
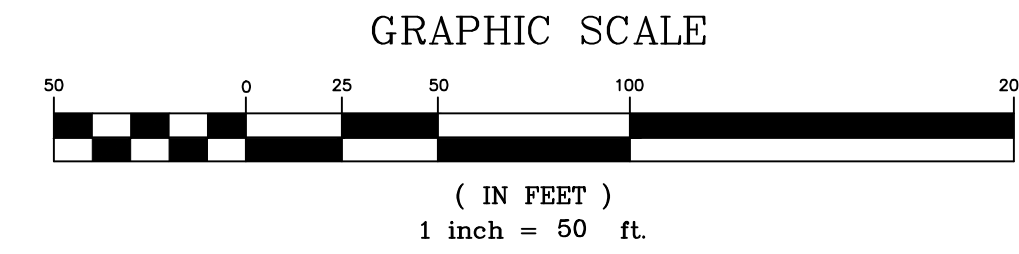
**PROJECT NAME:** WATER SYSTEM IMPROVEMENTS ALONG RIMMER POND AND HARD SCRABBLE ROADS  
**FOR:** CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA  
**DRAWING TITLE:** 24-INCH WM PLAN & PROFILE - STA. 78 + 00 THRU 86 + 53

**PROJ. MGR.:** BCW  
**DESIGN BY:** SMH / TDM  
**DRAWN BY:** TDM  
**PROJ. DATE:** 1/13/2021  
**DRAWING NUMBER:** **C23**  
**WKD PROJ. NO.:** 20190471.00.CA



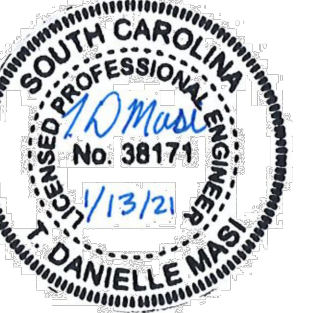
**LEGEND:**  
 — 42-INCH DI WATER MAIN  
 [Hatched Box] RESTRAINED JOINT  
 42-INCH DI WATER MAIN  
 SEE MASTER LEGEND ON SHEET G2

**NOTES:**  
 1. REFER TO GENERAL NOTES - SHEET G2, FOR ADDITIONAL NOTES.  
 2. REFER TO GENERAL NOTES - SHEET G2, FOR SEQUENCE OF CONSTRUCTION.  
 3. CONSTRUCTION EQUIPMENT SHALL ACCESS EASEMENT THROUGH THE DESIGNATED CONSTRUCTION ENTRANCES OR EXISTING DRIVEWAYS AND TRAVERSE THROUGH EASEMENT AS REQUIRED FOR CONSTRUCTION.  
 4. SILT FENCE ROCK OUTLETS SHALL BE PLACED AT LOW POINTS ALONG SILT FENCE AS NEEDED.  
 5. TOTAL PROJECT LIMITS OF DISTURBANCE = 12.0 ACRES.



1320 MAIN STREET  
 SUITE 400  
 COLUMBIA, SC 29201  
 (t) 803-786-4261  
 (f) 803-786-4263

WWW.WKDICKSON.COM



PROFESSIONAL SEAL



CERTIFICATE OF AUTHORITY



NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

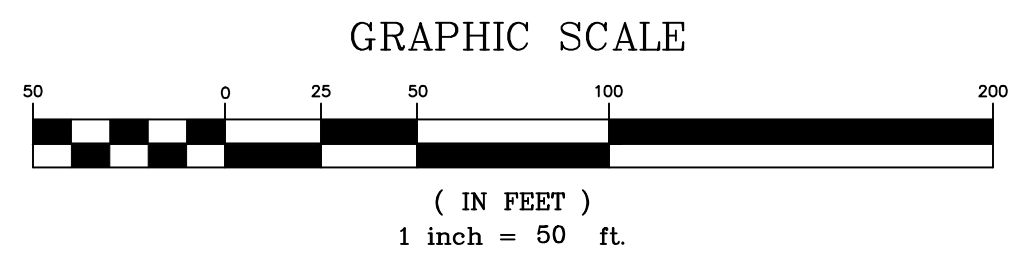
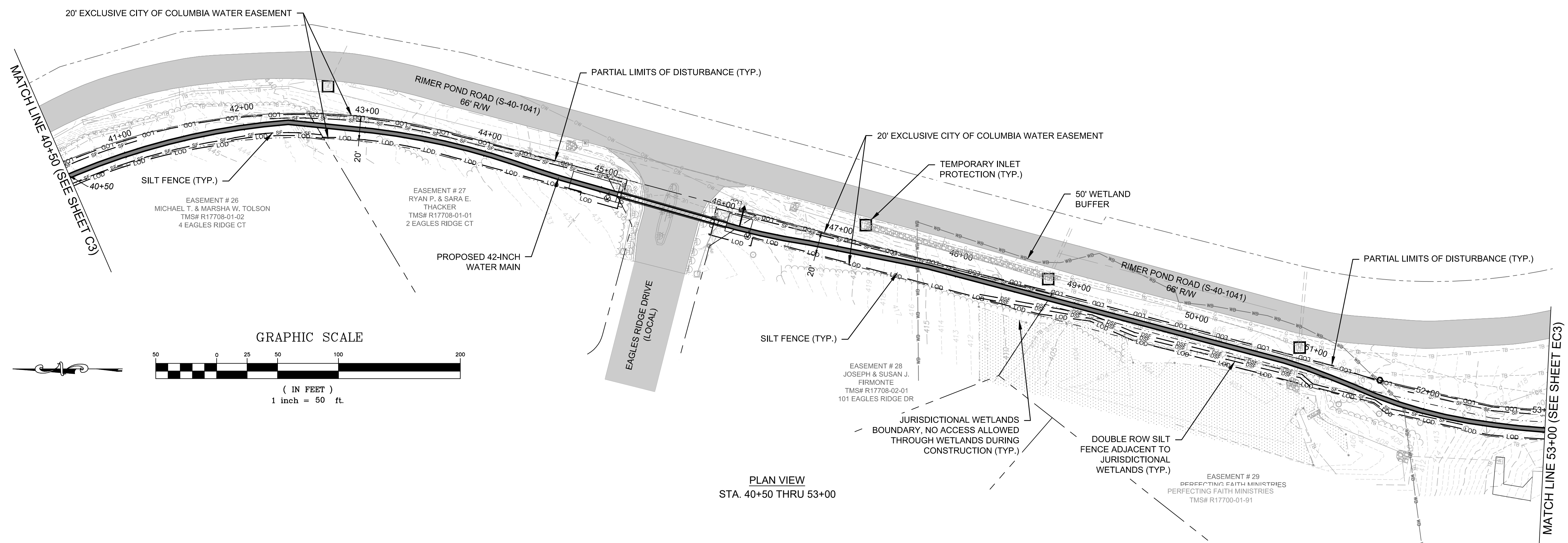
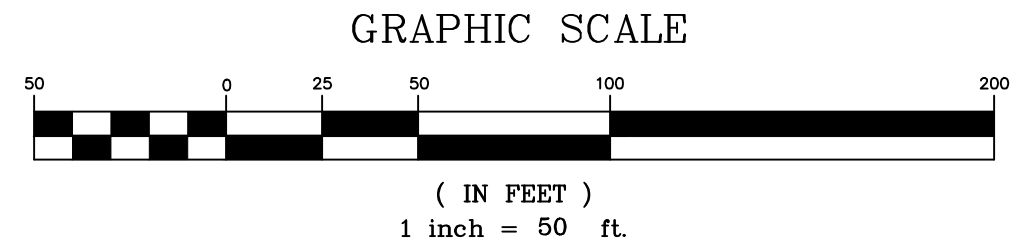
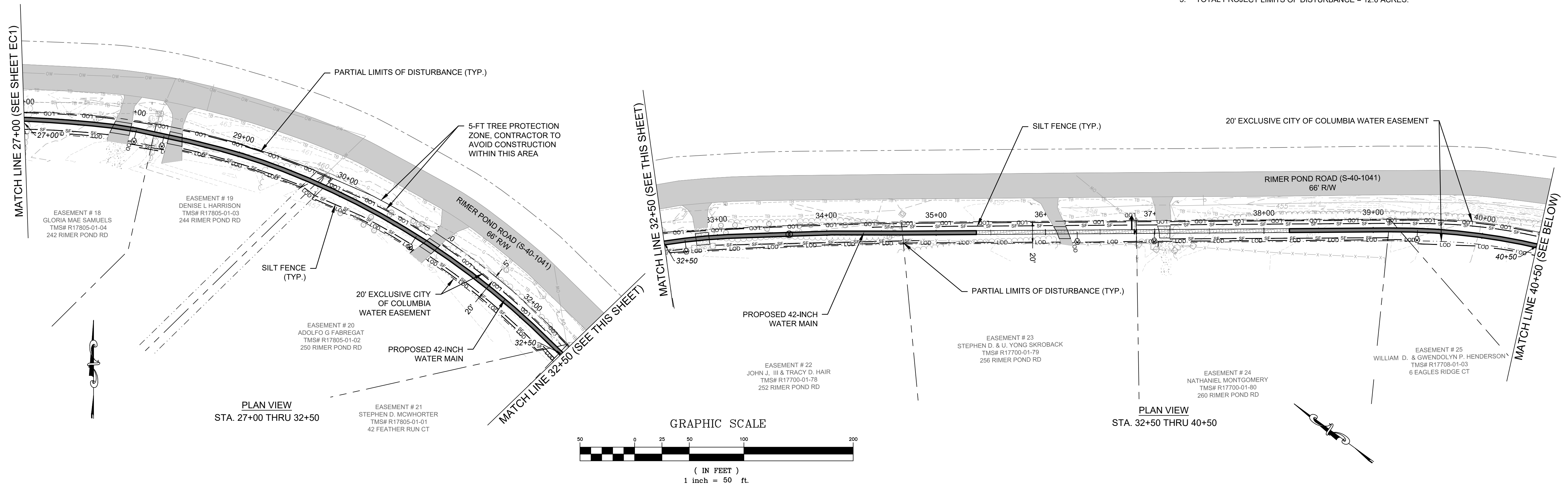
PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMER POND AND HARD SCRABBLE ROADS FOR CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA  
 DRAWING TITLE: 42-INCH WM EROSION CONTROL PLAN - STA. 00+00 THRU 27+00

PROJ. MGR.: BCW  
 DESIGN BY: SMH / TDM  
 DRAWN BY: TDM  
 PROJ. DATE: 1/13/2021  
 DRAWING NUMBER: **EC1**  
 WKD PROJ. NO.: 20190471.00.CA



**LEGEND:**  
 42-INCH DI WATER MAIN  
 RESTRAINED JOINT  
 42-INCH DI WATER MAIN  
 SEE MASTER LEGEND ON SHEET G2

**NOTES:**  
 1. REFER TO GENERAL NOTES - SHEET G2 FOR ADDITIONAL NOTES.  
 2. REFER TO GENERAL NOTES - SHEET G2 FOR SEQUENCE OF CONSTRUCTION.  
 3. CONSTRUCTION EQUIPMENT SHALL ACCESS EASEMENT THROUGH THE DESIGNATED CONSTRUCTION ENTRANCES OR EXISTING DRIVEWAYS AND TRAVERSE THROUGH EASEMENT AS REQUIRED FOR CONSTRUCTION.  
 4. SILT FENCE ROCK OUTLETS SHALL BE PLACED AT LOW POINTS ALONG SILT FENCE AS NEEDED.  
 5. TOTAL PROJECT LIMITS OF DISTURBANCE = 12.0 ACRES.



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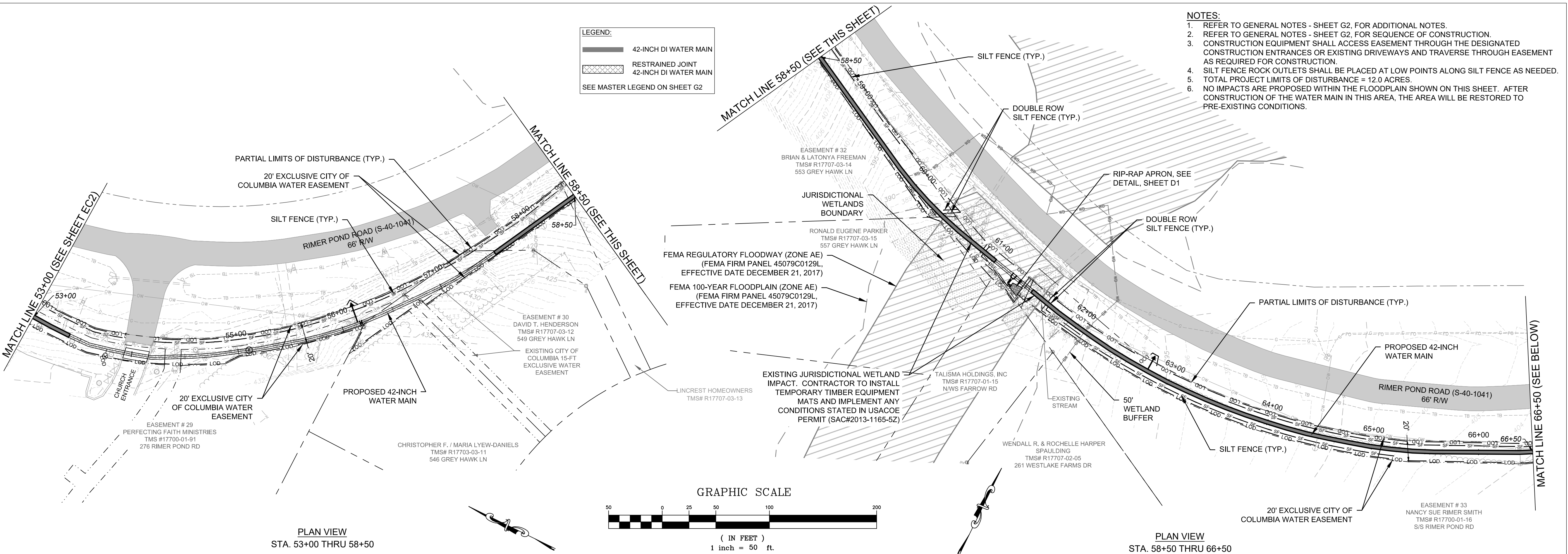
NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMER POND AND HARD SCRABBLE ROADS FOR CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA  
 DRAWING TITLE: 42-INCH WM EROSION CONTROL PLAN - STA. 27 + 00 THRU 53 + 00

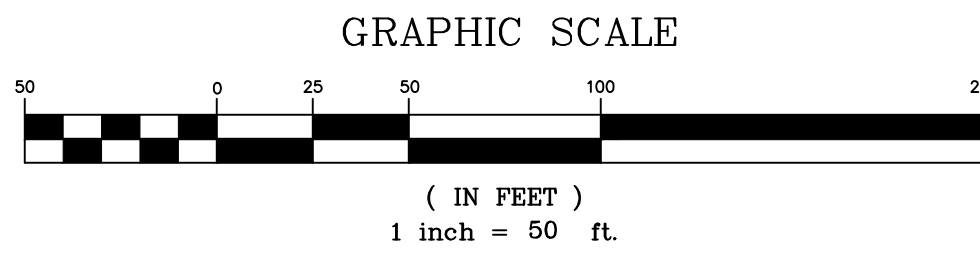
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 DESIGN BY: SMH / TDM  
 DRAWN BY: TDM  
 PROJ. DATE: 1/13/2021  
 DRAWING NUMBER:  
**EC2**  
 WKD PROJ. NO.:  
 20190471.00.CA





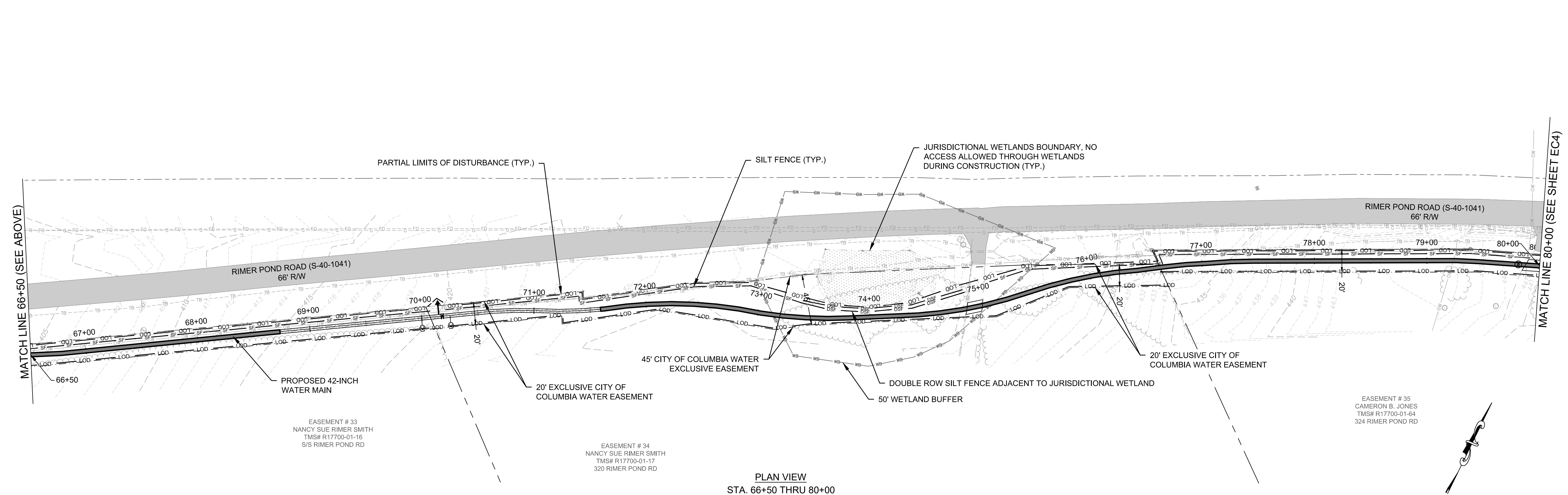
PLAN VIEW  
STA. 53+00 THRU 58+50

PLAN VIEW  
STA. 58+50 THRU 66+50

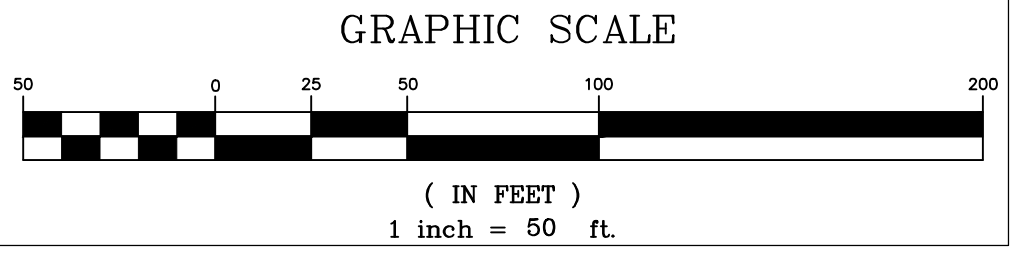


LEGEND:  
 — 42-INCH DI WATER MAIN  
 - - - RESTRAINED JOINT  
 - - - 42-INCH DI WATER MAIN  
 SEE MASTER LEGEND ON SHEET G2

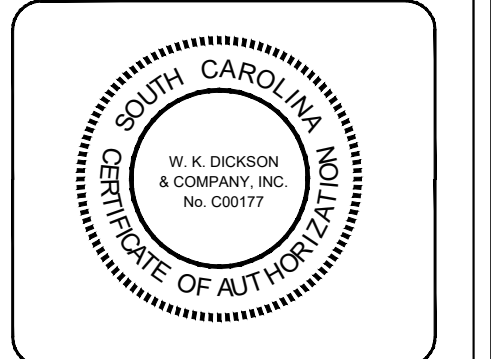
- NOTES:
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  2. REFER TO GENERAL NOTES - SHEET G2, FOR SEQUENCE OF CONSTRUCTION.
  3. CONSTRUCTION EQUIPMENT SHALL ACCESS EASEMENT THROUGH THE DESIGNATED CONSTRUCTION ENTRANCES OR EXISTING DRIVEWAYS AND TRAVERSE THROUGH EASEMENT AS REQUIRED FOR CONSTRUCTION.
  4. SILT FENCE ROCK OUTLETS SHALL BE PLACED AT LOW POINTS ALONG SILT FENCE AS NEEDED.
  5. TOTAL PROJECT LIMITS OF DISTURBANCE = 12.0 ACRES.
  6. NO IMPACTS ARE PROPOSED WITHIN THE FLOODPLAIN SHOWN ON THIS SHEET. AFTER CONSTRUCTION OF THE WATER MAIN IN THIS AREA, THE AREA WILL BE RESTORED TO PRE-EXISTING CONDITIONS.



PLAN VIEW  
STA. 66+50 THRU 80+00



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NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

PROJECT NAME:  
 WATER SYSTEM IMPROVEMENTS ALONG  
 RIMERS POND AND HARD SCRABBLE ROADS  
 FOR  
 CITY OF COLUMBIA  
 RICHLAND COUNTY, SOUTH CAROLINA

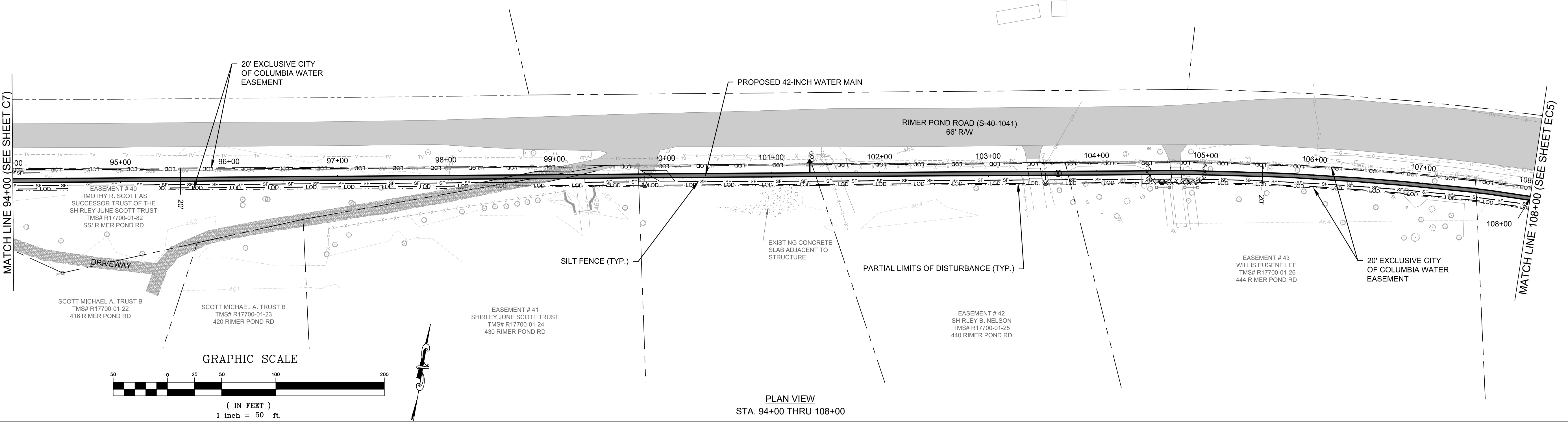
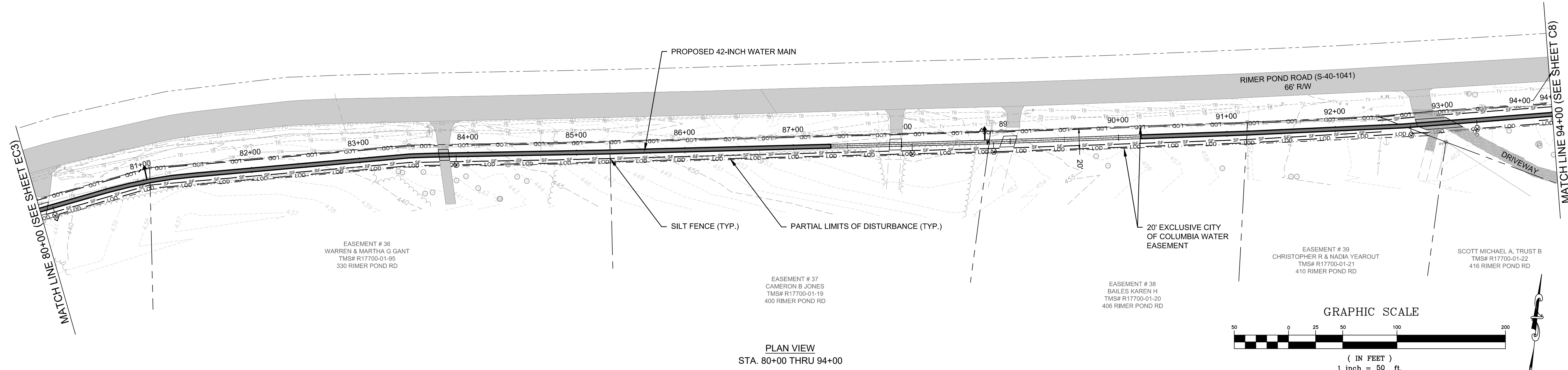
DRAWING TITLE:  
 42-INCH WM EROSION CONTROL PLAN - STA.  
 53 + 00 THRU 80 + 00

PROJ. MGR.: BCW  
 DESIGN BY: SMH / TDM  
 DRAWN BY: TDM  
 PROJ. DATE: 1/13/2021  
 DRAWING NUMBER:  
**EC3**  
 WKD PROJ. NO.:  
 20190471.00.CA



**LEGEND:**  
 — 42-INCH DI WATER MAIN  
 [Hatched Box] RESTRAINED JOINT 42-INCH DI WATER MAIN  
 SEE MASTER LEGEND ON SHEET G2

**NOTES:**  
 1. REFER TO GENERAL NOTES - SHEET G2, FOR ADDITIONAL NOTES.  
 2. REFER TO GENERAL NOTES - SHEET G2, FOR SEQUENCE OF CONSTRUCTION.  
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**DRAWING STATUS - FOR BID**

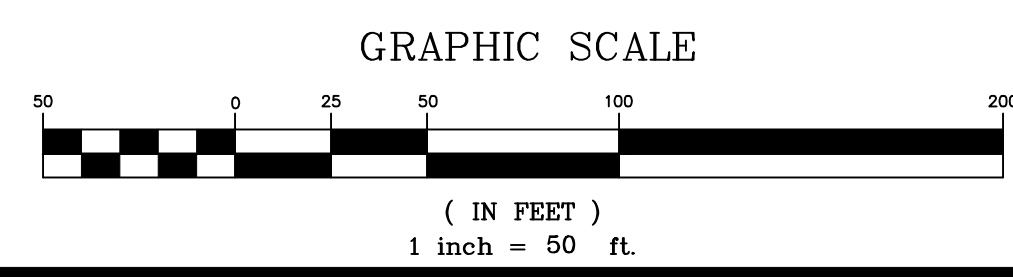
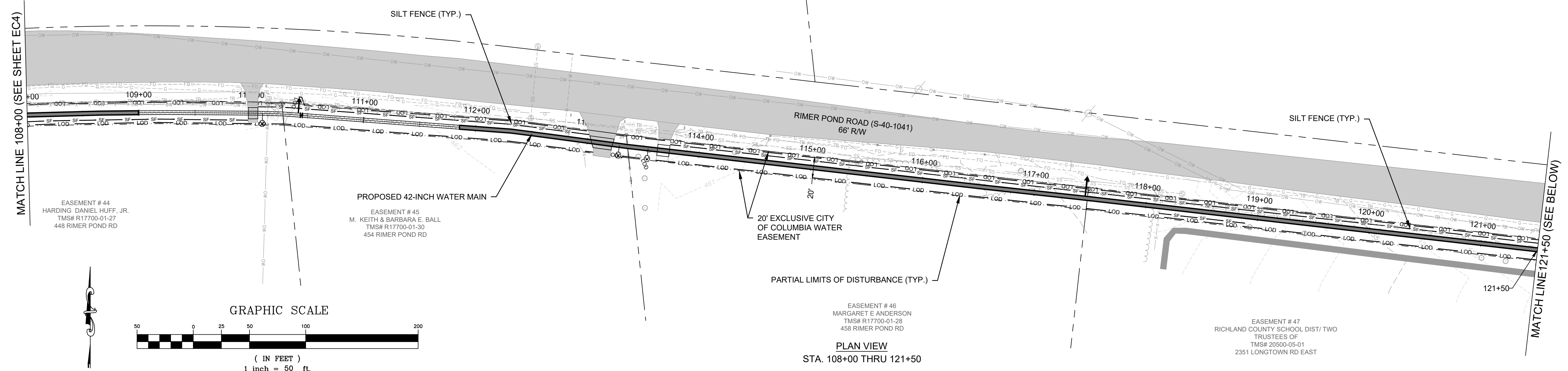
**PROJECT NAME:**  
 WATER SYSTEM IMPROVEMENTS ALONG RIMMER POND AND HARD SCRABBLE ROADS  
**FOR**  
 CITY OF COLUMBIA  
 RICHLAND COUNTY, SOUTH CAROLINA  
**DRAWING TITLE:**  
 42-INCH WM EROSION CONTROL PLAN - STA. 80+00 THRU 108+00

**PROJ. MGR.:** BCW  
**DESIGN BY:** SMH / TDM  
**DRAWN BY:** TDM  
**PROJ. DATE:** 1/13/2021  
**DRAWING NUMBER:**  
**EC4**  
 WKD PROJ. NO.:  
 20190471.00.CA

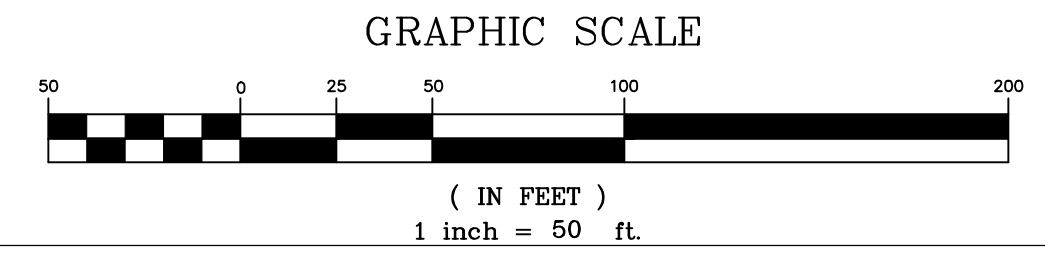
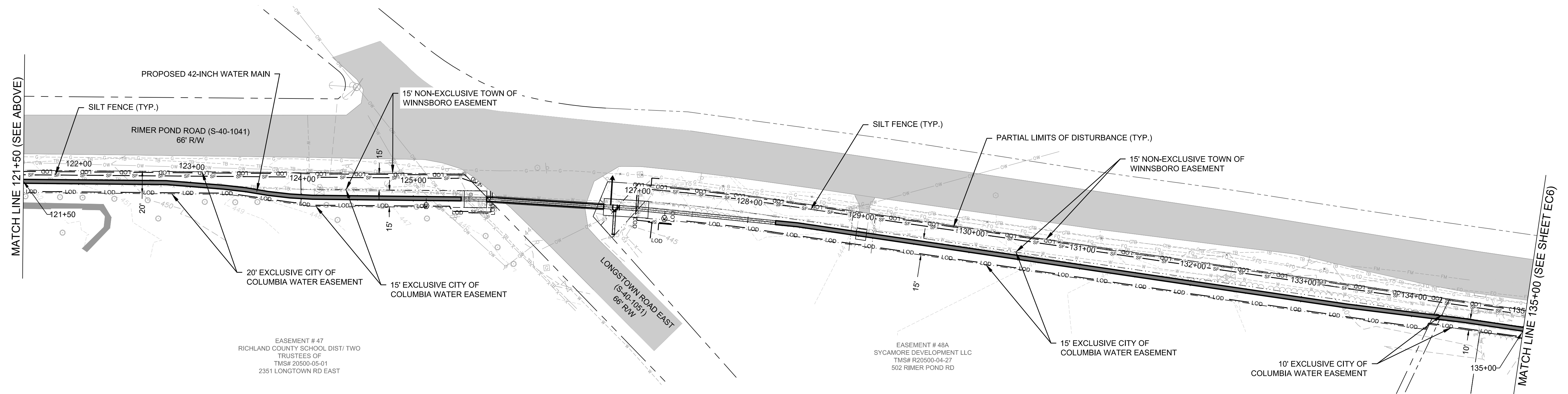


**LEGEND:**  
 — 42-INCH DI WATER MAIN  
 [Hatched Box] RESTRAINED JOINT  
 42-INCH DI WATER MAIN  
 SEE MASTER LEGEND ON SHEET G2

**NOTES:**  
 1. REFER TO GENERAL NOTES - SHEET G2, FOR ADDITIONAL NOTES.  
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 5. TOTAL PROJECT LIMITS OF DISTURBANCE = 12.0 ACRES.



**PLAN VIEW**  
 STA. 108+00 THRU 121+50



**PLAN VIEW**  
 STA. 121+50 THRU 135+00

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NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

**PROJECT NAME:**  
 WATER SYSTEM IMPROVEMENTS ALONG RIMER POND AND HARD SCRABBLE ROADS  
**FOR**  
 CITY OF COLUMBIA  
 RICHLAND COUNTY, SOUTH CAROLINA  
**DRAWING TITLE:**  
 42-INCH WM EROSION CONTROL PLAN - STA. 108+00 THRU 135+00

**PROJ. MGR.:** BCW  
**DESIGN BY:** SMH / TDM  
**DRAWN BY:** TDM  
**PROJ. DATE:** 1/13/2021  
**DRAWING NUMBER:**  
**EC5**  
 WKD PROJ. NO.:  
 20190471.00.CA





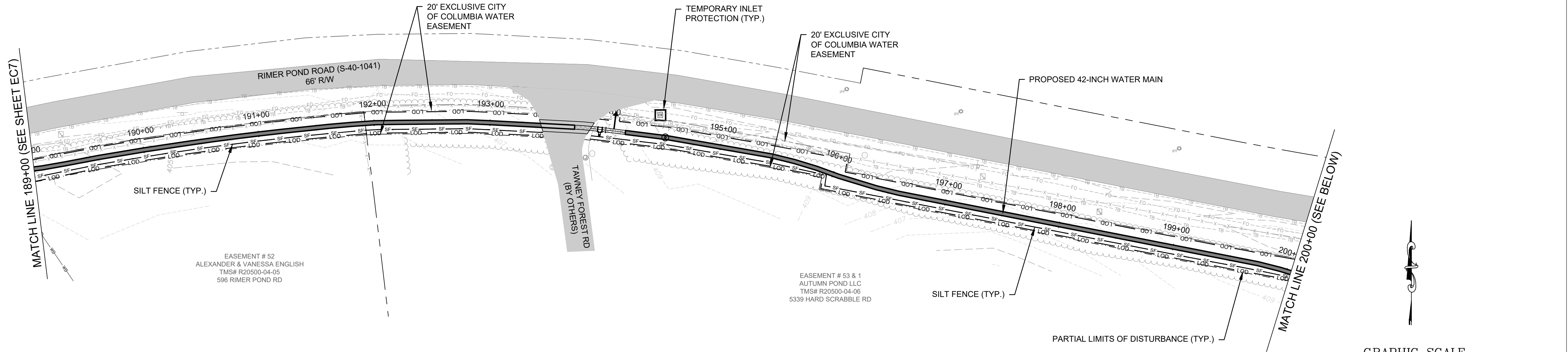




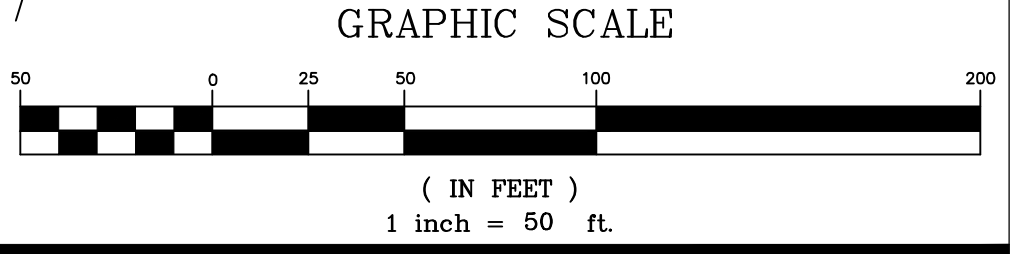


**LEGEND:**  
 — 42-INCH DI WATER MAIN  
 [Hatched Box] RESTRAINED JOINT 42-INCH DI WATER MAIN  
 SEE MASTER LEGEND ON SHEET G2

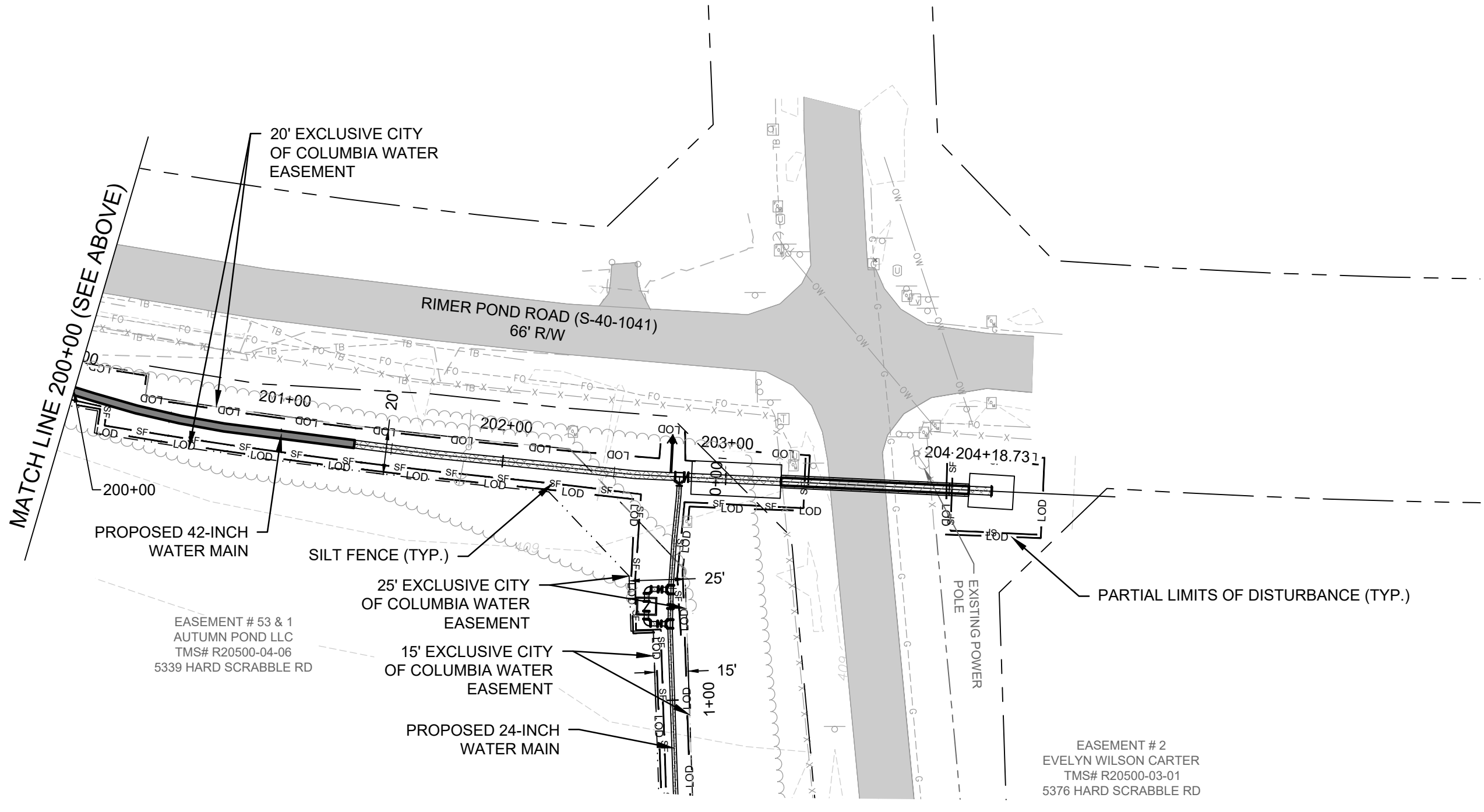
**NOTES:**  
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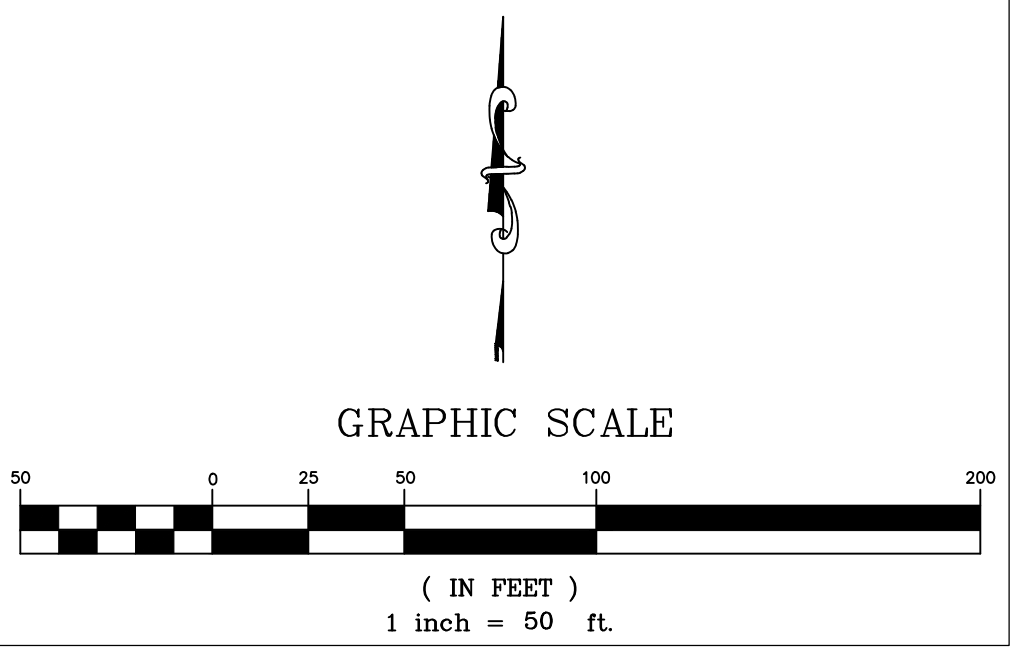
PLAN VIEW  
 STA. 189+00 THRU 200+00



THE SOUTH CAROLINA SOCIETY OF PROFESSIONAL ENGINEERS HAS REVIEWED THIS DRAWING FOR CONFORMANCE WITH THE ENGINEERING CONSTRUCTION ACT AND THE ENGINEERING BOARD OF SOUTH CAROLINA. REVIEWED ON 1/13/21 BY DANIEL L. HARRIS, P.E., NO. 11102.



PLAN VIEW  
 STA. 200+00 THRU 204+19



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NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

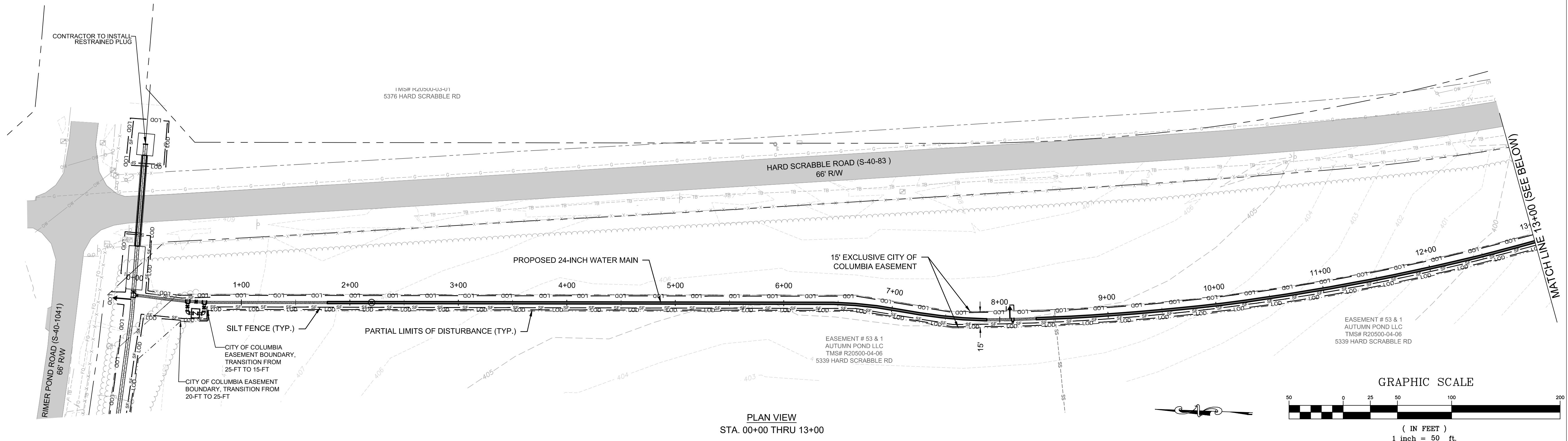
PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMERS POND AND HARD SCRABBLE ROADS FOR CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA  
 DRAWING TITLE: 42-INCH WM EROSION CONTROL PLAN - STA. 189+00 THRU 204+19

PROJ. MGR.: BCW  
 DESIGN BY: SMH / TDM  
 DRAWN BY: TDM  
 PROJ. DATE: 1/13/2021  
 DRAWING NUMBER: **EC8**  
 WKD PROJ. NO.: 20190471.00.CA

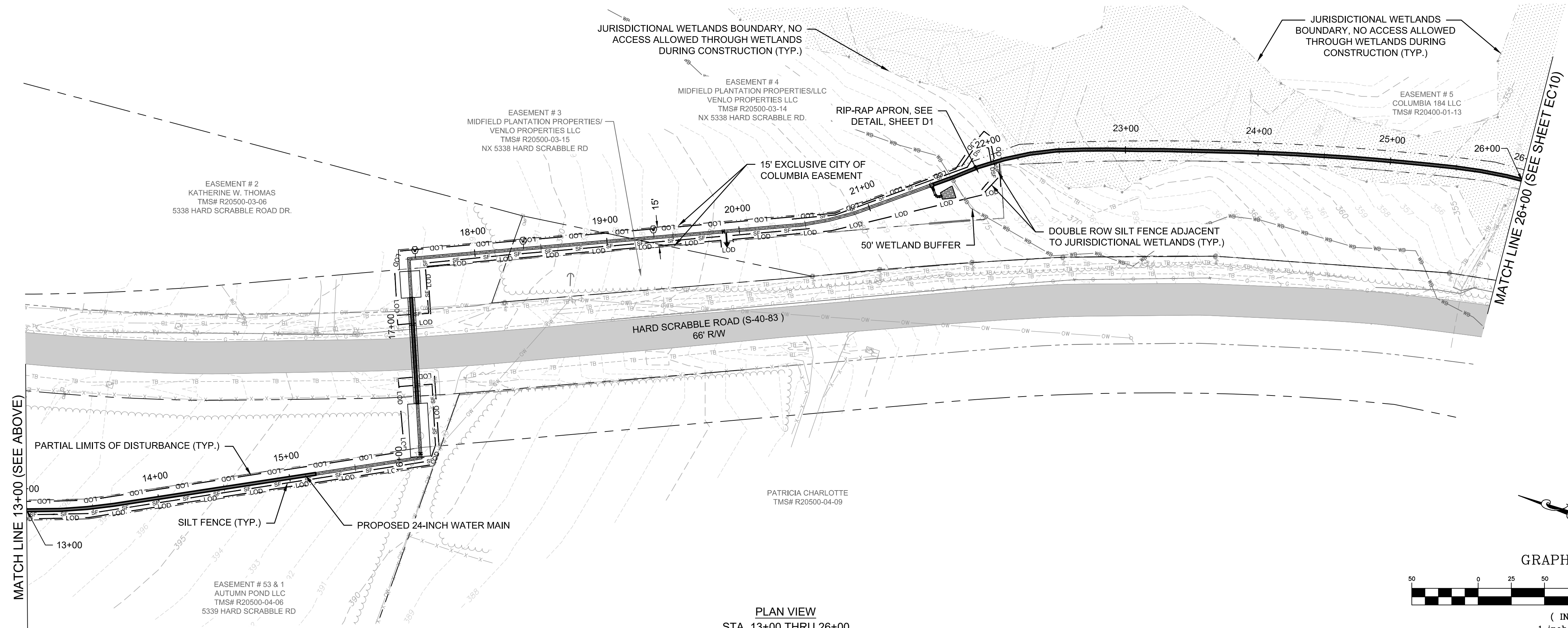


- LEGEND:**
- 24-INCH DI WATER MAIN
  - ▨ RESTRAINED JOINT 24-INCH DI WATER MAIN
- SEE MASTER LEGEND ON SHEET G2

- NOTES:**
1. REFER TO GENERAL NOTES - SHEET G2, FOR ADDITIONAL NOTES.
  2. REFER TO GENERAL NOTES - SHEET G2, FOR SEQUENCE OF CONSTRUCTION.
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  4. SILT FENCE ROCK OUTLETS SHALL BE PLACED AT LOW POINTS ALONG SILT FENCE AS NEEDED.
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PLAN VIEW  
STA. 00+00 THRU 13+00



PLAN VIEW  
STA. 13+00 THRU 26+00

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NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMMER POND AND HARD SCRABBLE ROADS  
FOR CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA  
DRAWING TITLE: 24-INCH WM EROSION CONTROL PLAN - STA. 00+00 THRU 26+00



PROJ. MGR.: BCW  
DESIGN BY: SMH / TDM  
DRAWN BY: TDM  
PROJ. DATE: 1/13/2021  
DRAWING NUMBER:  
**EC9**  
WKD PROJ. NO.: 20190471.00.CA

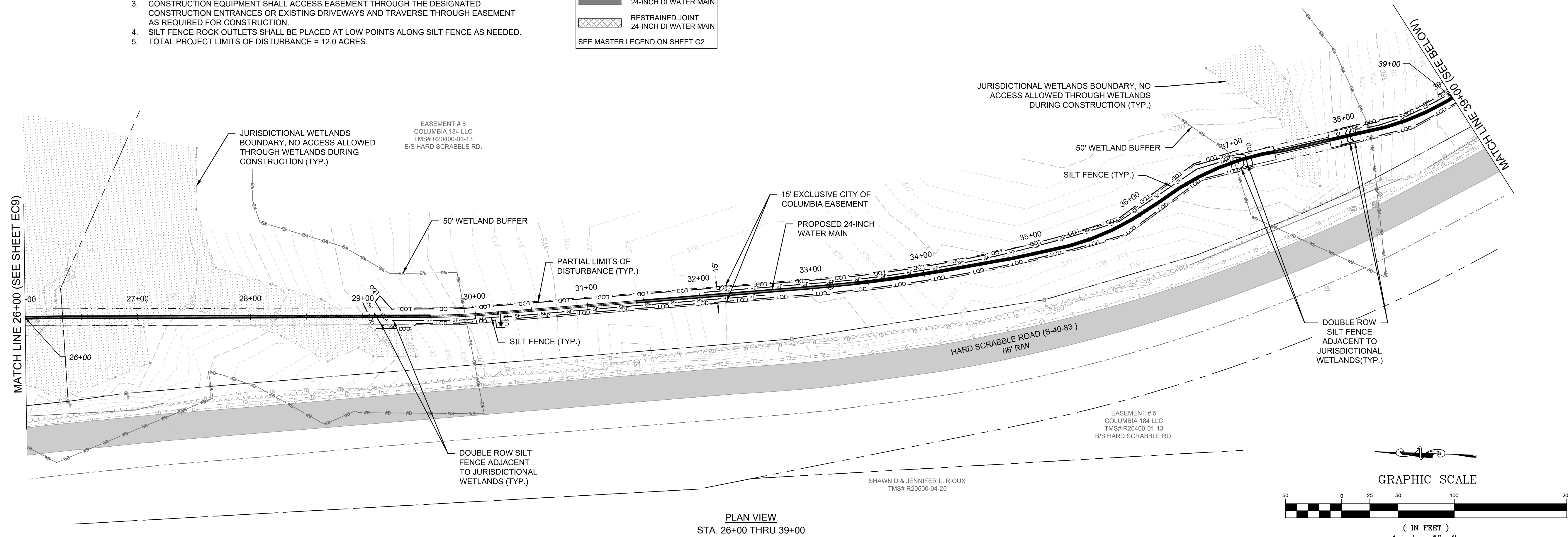


**NOTES:**

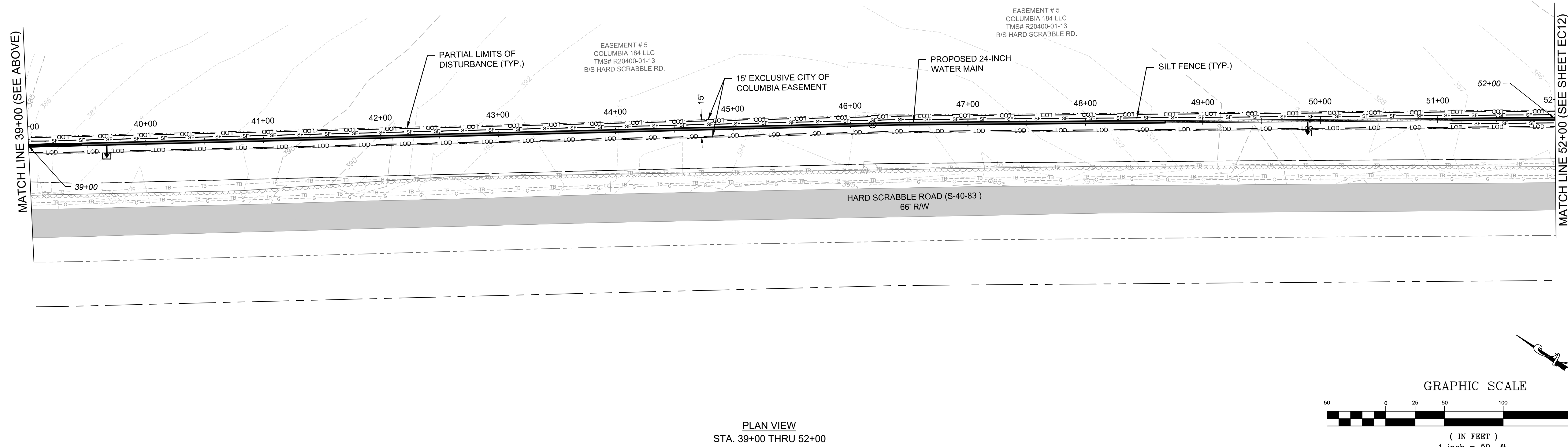
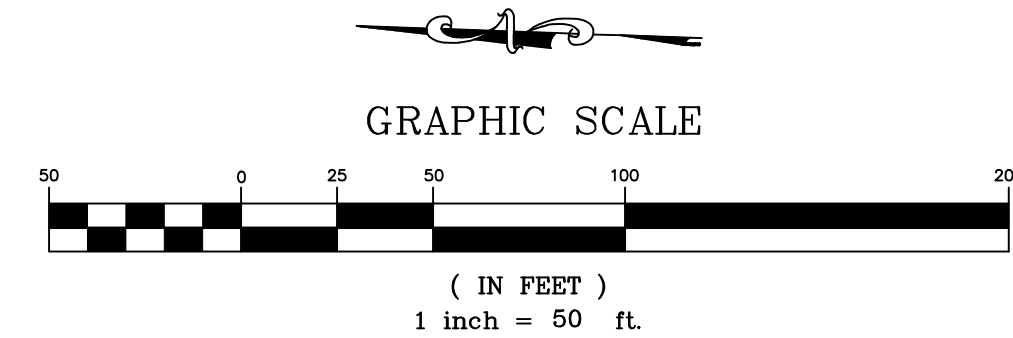
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5. TOTAL PROJECT LIMITS OF DISTURBANCE = 12.0 ACRES.

**LEGEND:**

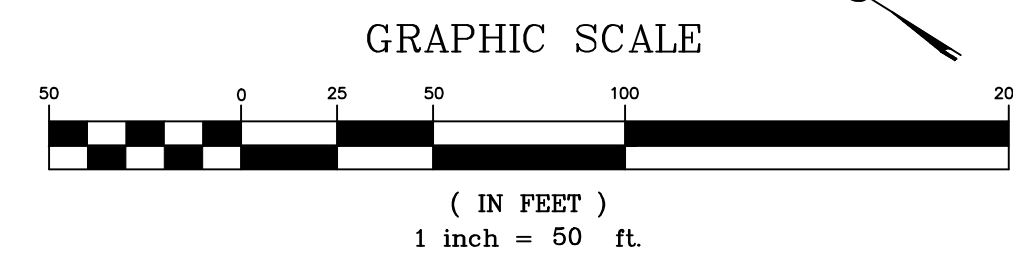
-  24-INCH DI WATER MAIN
-  RESTRAINED JOINT 24-INCH DI WATER MAIN
- SEE MASTER LEGEND ON SHEET G2



PLAN VIEW  
STA. 26+00 THRU 39+00



PLAN VIEW  
STA. 39+00 THRU 52+00



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NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMMER POND AND HARD SCRABBLE ROADS FOR CITY OF COLUMBIA RICHLAND COUNTY, SOUTH CAROLINA  
DRAWING TITLE: 24-INCH WM EROSION CONTROL PLAN - STA. 26+00 THRU 52+00

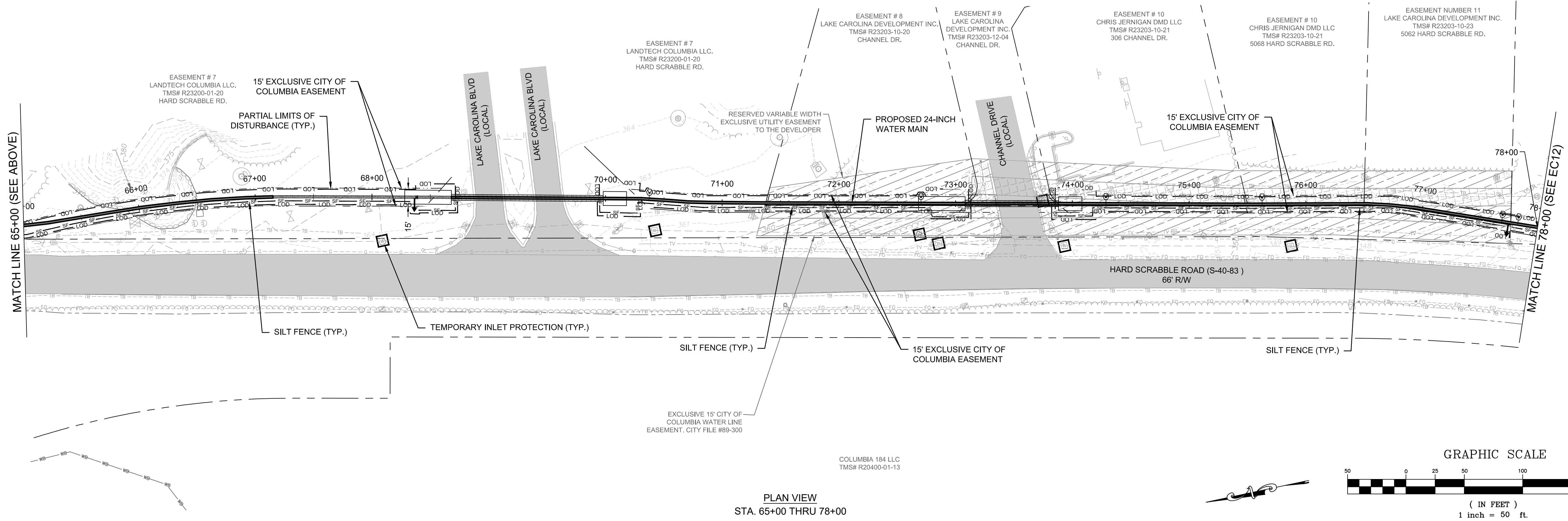
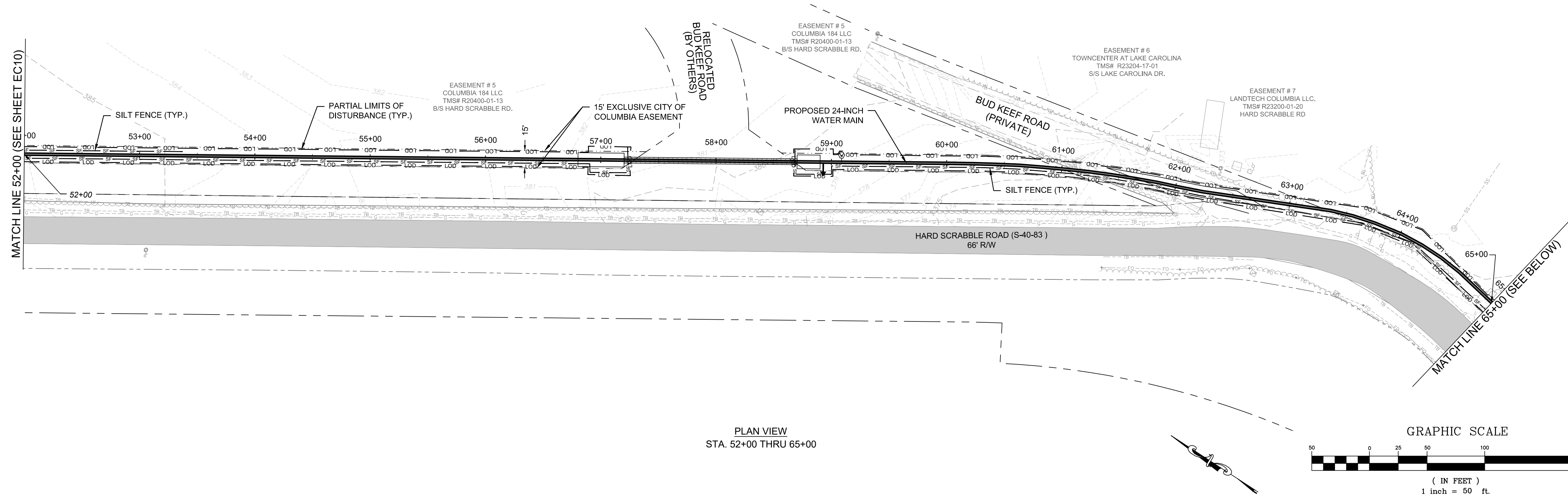
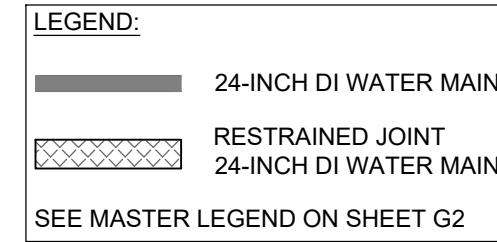
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DESIGN BY: SMH / TDM  
DRAWN BY: TDM  
PROJ. DATE: 1/13/2021  
DRAWING NUMBER:

**EC10**

WKD PROJ. NO.: 20190471.00.CA



- NOTES:**
1. REFER TO GENERAL NOTES - SHEET G2, FOR ADDITIONAL NOTES.
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NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

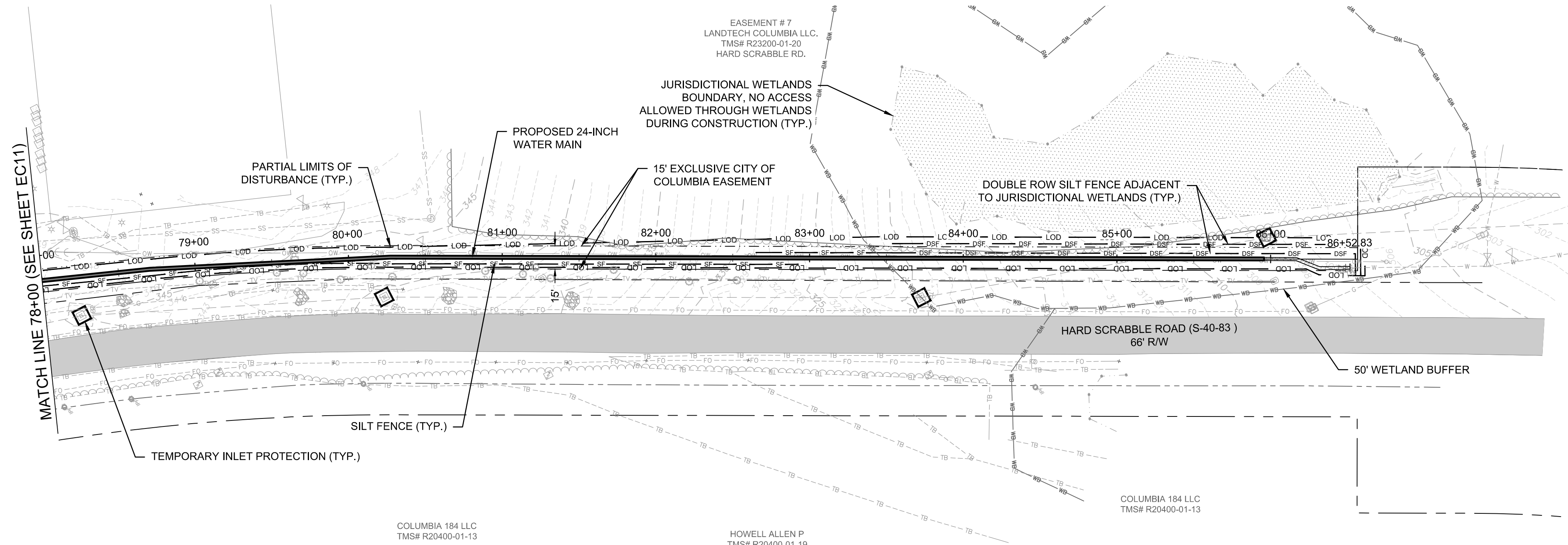
PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMMER POND AND HARD SCRABBLE ROADS FOR CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA  
DRAWING TITLE: 24-INCH WM EROSION CONTROL PLAN - STA. 52+00 THRU 78+00

PROJ. MGR.: BCW  
DESIGN BY: SMH / TDM  
DRAWN BY: TDM  
PROJ. DATE: 1/13/2021  
DRAWING NUMBER: **EC11**  
WKD PROJ. NO.: 20190471.00.CA



**LEGEND:**  
 24-INCH DI WATER MAIN  
 RESTRAINED JOINT 24-INCH DI WATER MAIN  
 SEE MASTER LEGEND ON SHEET G2

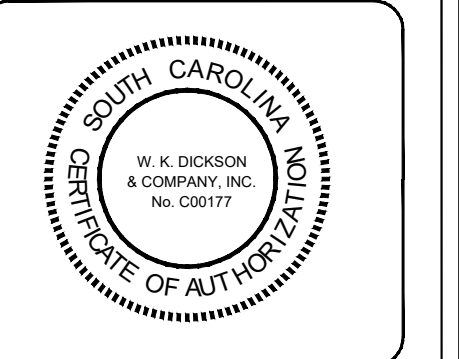
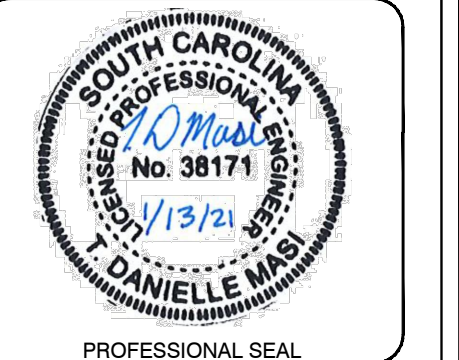
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  4. SILT FENCE ROCK OUTLETS SHALL BE PLACED AT LOW POINTS ALONG SILT FENCE AS NEEDED.
  5. TOTAL PROJECT LIMITS OF DISTURBANCE = 12.0 ACRES.



PLAN VIEW  
 STA. 78+00 THRU 86+53



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NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMMER POND AND HARD SCRABBLE ROADS  
 FOR CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA  
 DRAWING TITLE: 24-INCH WM EROSION CONTROL PLAN - STA. 78+00 THRU 86+53

PROJ. MGR.: BCW  
 DESIGN BY: SMH / TDM  
 DRAWN BY: TDM  
 PROJ. DATE: 1/13/2021  
 DRAWING NUMBER:  
**EC12**  
 WKD PROJ. NO.: 20190471.00.CA







RIMER POND ROAD	
START STATION	END STATION
0 + 00	1 + 63
15 + 23	15 + 63
84 + 47	84 + 87
135 + 61	136 + 01

**DETAILED POLYETHYLENE WRAP SCHEDULE**

- NOTES:
- POLYETHYLENE WRAP SHALL BE USED WHERE WATER MAIN IS INSTALLED WITHIN 10 FEET OF GAS MAIN.
  - GAS CROSSINGS SHALL HAVE A MINIMUM OF 20 LF OF POLYETHYLENE WRAPPED WATER MAIN ON EITHER SIDE OF CROSSING.
  - IF A GAS CROSSING OCCURS WHERE THE WATER MAIN IS ENCASED IN STEEL CASING, POLYETHYLENE WRAP IS NOT REQUIRED.

HARD SCRABBLE ROAD	
START STATION	END STATION
21 + 75	29 + 39
36 + 80	38 + 30

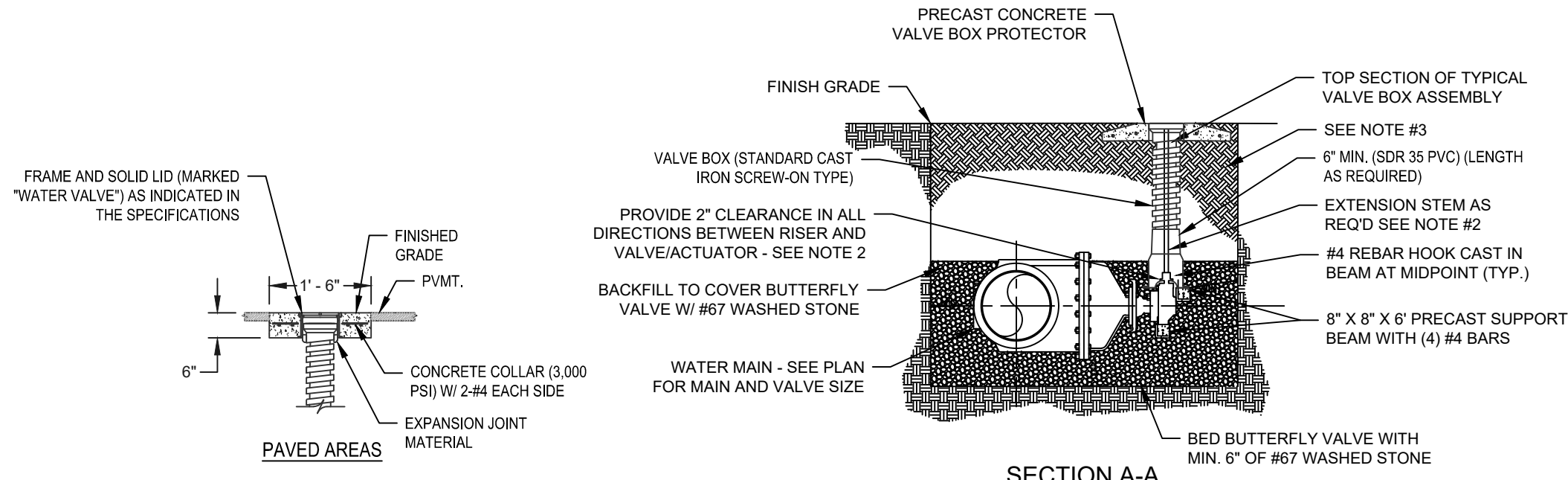
**DETAILED HORIZONTAL DIRECTIONAL DRILLING SCHEDULE**

- NOTES:
- PIPE TO BE DEFLECTED UP TO MANUFACTURERS SPECIFICATIONS.

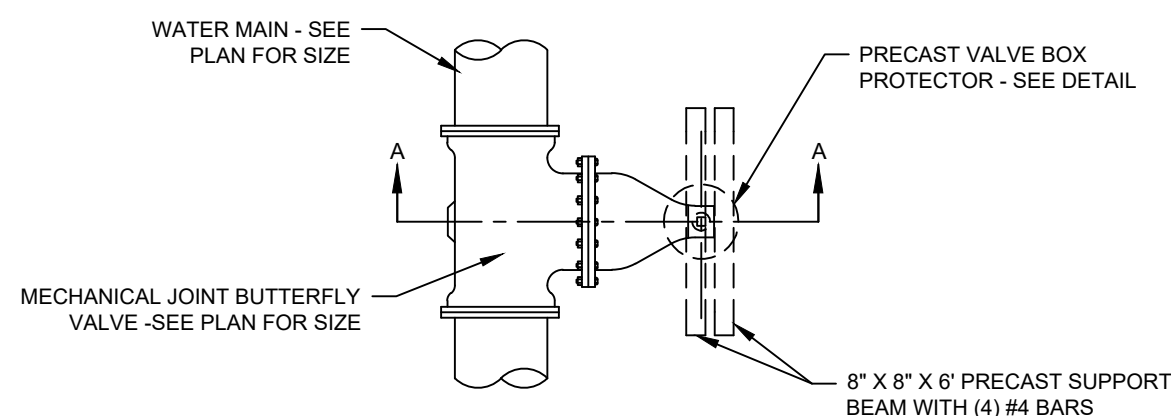
FITTING TYPE	MINIMUM LINEAR FEET OF RESTRAINED JOINT PIPE ON EACH SIDE OF FITTING	
	24-INCH DI PIPE	42-INCH DI PIPE
11.25° BEND	20	20
22.5° BEND	20	20
45° BEND	20	40
90° BEND	60	60
TEE	20	20
BUTTERFLY VALVE	120	140

**GENERAL RESTRAINED JOINT SCHEDULE**

- NOTES:
- RESTRAINED LENGTH VALES ARE BASED ON A PRESSURE OF 200 PSI FOR 24-INCH DI PIPE AND 150 PSI FOR 42-INCH DI PIPE, USCS SC SOIL TYPE, 1.5 SAFETY FACTOR AND TYPE 5 BEDDING.
  - THE ABOVE LENGTHS ARE MINIMUM LENGTHS. RESTRAINED JOINT GASKETS SHALL BE INSTALLED TO THE NEXT PIPE JOINT BEYOND THESE MINIMUM LENGTHS.
  - TEE INDICATES FLUSHING ASSEMBLIES, WATER LINE CONNECTIONS OR ANY OTHER AREA WHERE A TEE IS INSTALLED ON THE MAIN LINE.



- NOTES:
- DIAMETER OF RISER MAY VARY AS REQUIRED BY VALVE ACTUATOR.
  - WHEN OPERATING NUT DEPTH EXCEEDS 4'-0" BELOW FINISH GRADE, PROVIDE EXTENSION STEM WITH STANDARD 2" SQUARE OPERATING NUT IN TOP SECTION OF VALVE BOX. EXTENSION STEM SHALL BE SIZED AS RECOMMENDED BY THE VALVE MFR.
  - BACKFILL COMPACTED TO 95% STANDARD PROCTOR IN LANDSCAPED AREAS AND 98% STANDARD PROCTOR IN ALL OTHER AREAS OF CONSTRUCTION.
  - VALVE BOX TO REST ON STONE, NOT ON VALVE.



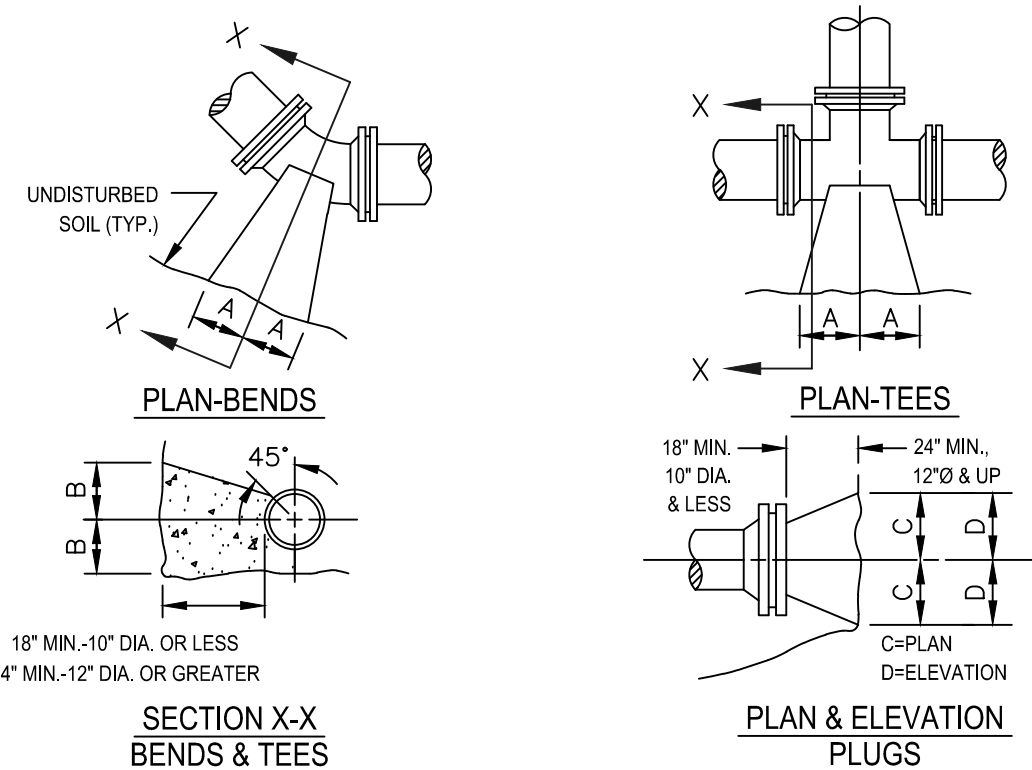
**BUTTERFLY VALVE INSTALLATION DETAIL**  
NOT TO SCALE

RIMER POND ROAD	
STATION	VALVE SIZE / MODEL
2+80	2 IN #45 AIR RELEASE VALVE
33+66	3 IN #45 AIR RELEASE VALVE
55+10	4 IN #45 AIR RELEASE VALVE
79+81	5 IN #45 AIR RELEASE VALVE
103+64	6 IN #45 AIR RELEASE VALVE
175+41	7 IN #45 AIR RELEASE VALVE
194+52	8 IN #45 AIR RELEASE VALVE

HARD SCRABBLE ROAD	
STATION	VALVE SIZE / MODEL
2+20	2 IN #45 AIR RELEASE VALVE
33+16	2 IN #45 AIR RELEASE VALVE
46+19	2 IN #45 AIR RELEASE VALVE

**AIR VALVE SCHEDULE**

- NOTES:
- VAL-MATIC MODELS SPECIFIED, CONTRACTOR MAY USE ENGINEERED APPROVED EQUAL.



**SECTION X-X BENDS & TEES**

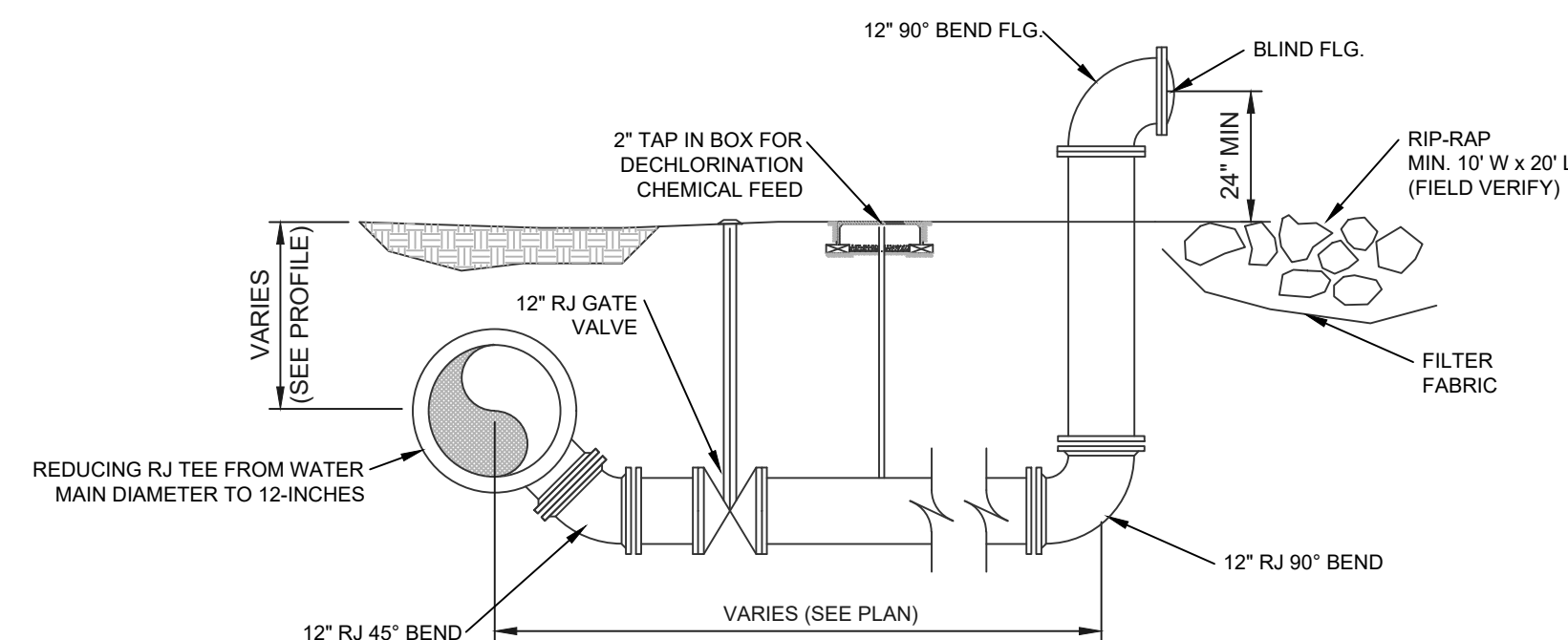
**PLAN & ELEVATION PLUGS**

SIZE	MIN. THRUST BLOCK BEARING AREAS (S.F.)				
	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND	PLUGS OR TEES
4	3.8	2.1	1.1	0.5	2.7
6	7.9	4.3	2.2	1.1	5.6
8	13.6	7.4	3.8	1.9	9.6
10	20.5	11.1	5.7	2.8	14.5
12	29.0	15.7	8.0	4.0	20.5
16	50.4	27.3	13.9	7.0	35.7
24	109.6	59.6	30.3	15.3	77.7
42	313.7	170.2	86.2	43.4	221.3

**CONCRETE THRUST BLOCKING**

NOT TO SCALE

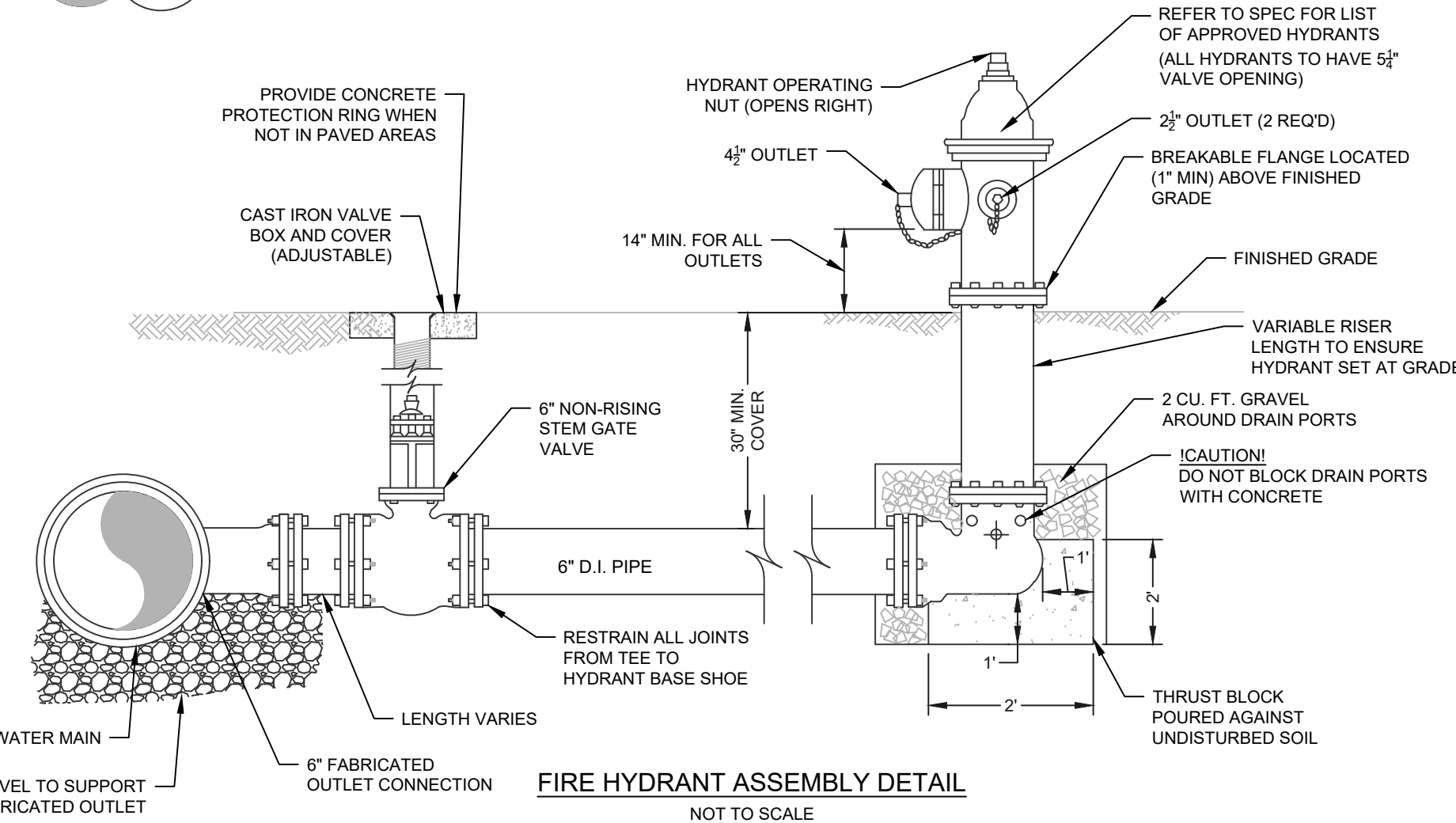
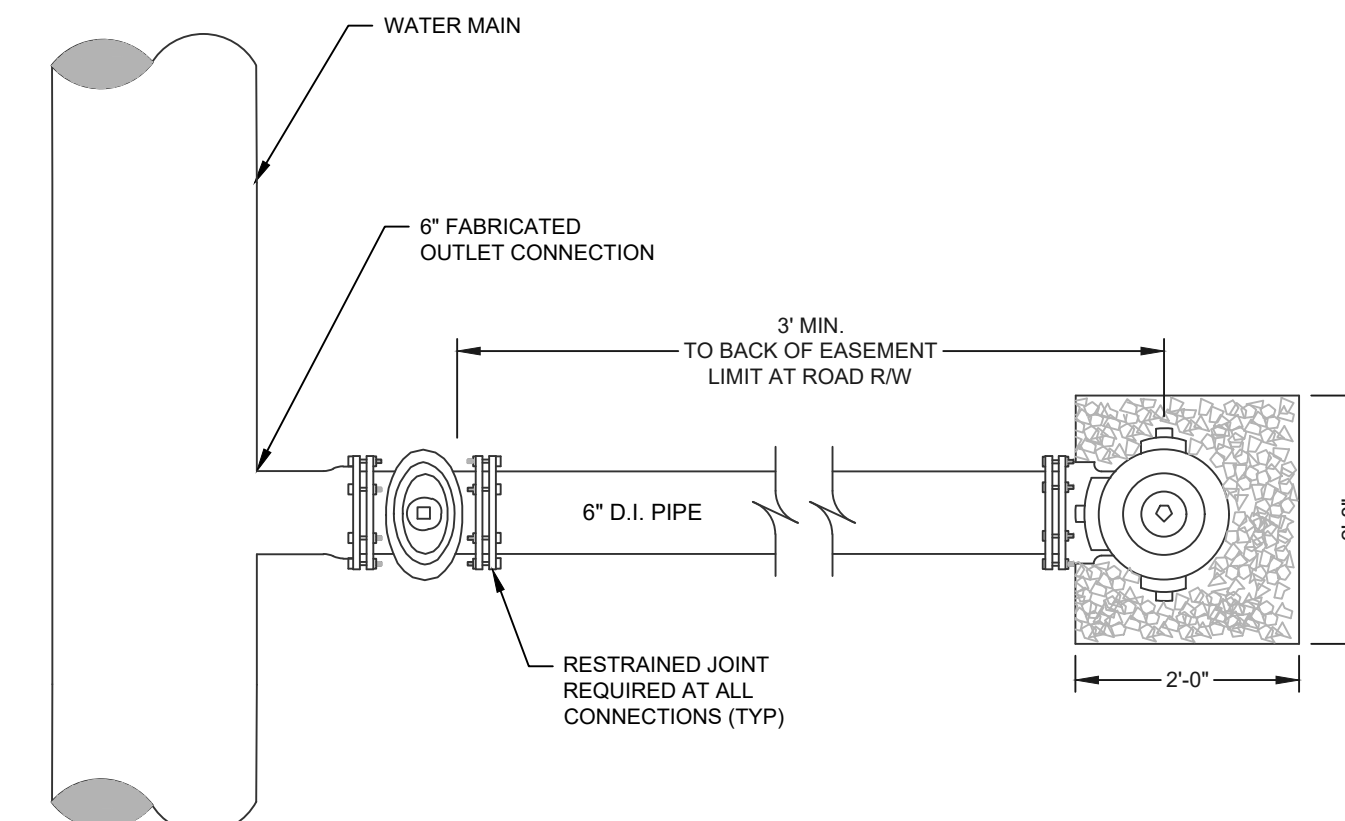
- NOTES:
- BASED ON 200 PSI STATIC PRESSURE.
  - ALL BEARING SURFACES TO BE CARRIED TO UNDISTURBED GROUND.
  - THRUST BLOCKS TO BE USED AT ALL LINES OPERATING UNDER PRESSURE.
  - KEEP ALL PIPING JOINTS CLEAR OF CONCRETE THRUST BLOCKS.
  - RESTRAIN ALL FITTINGS WITH MECHANICAL JOINT RESTRAINING GLANDS.
  - DIMENSIONS A & B SHALL BE DETERMINED IN THE FIELD AS REQUIRED TO PROVIDE THE GIVEN BEARING AREA AND TO MEET FIELD CONDITIONS.



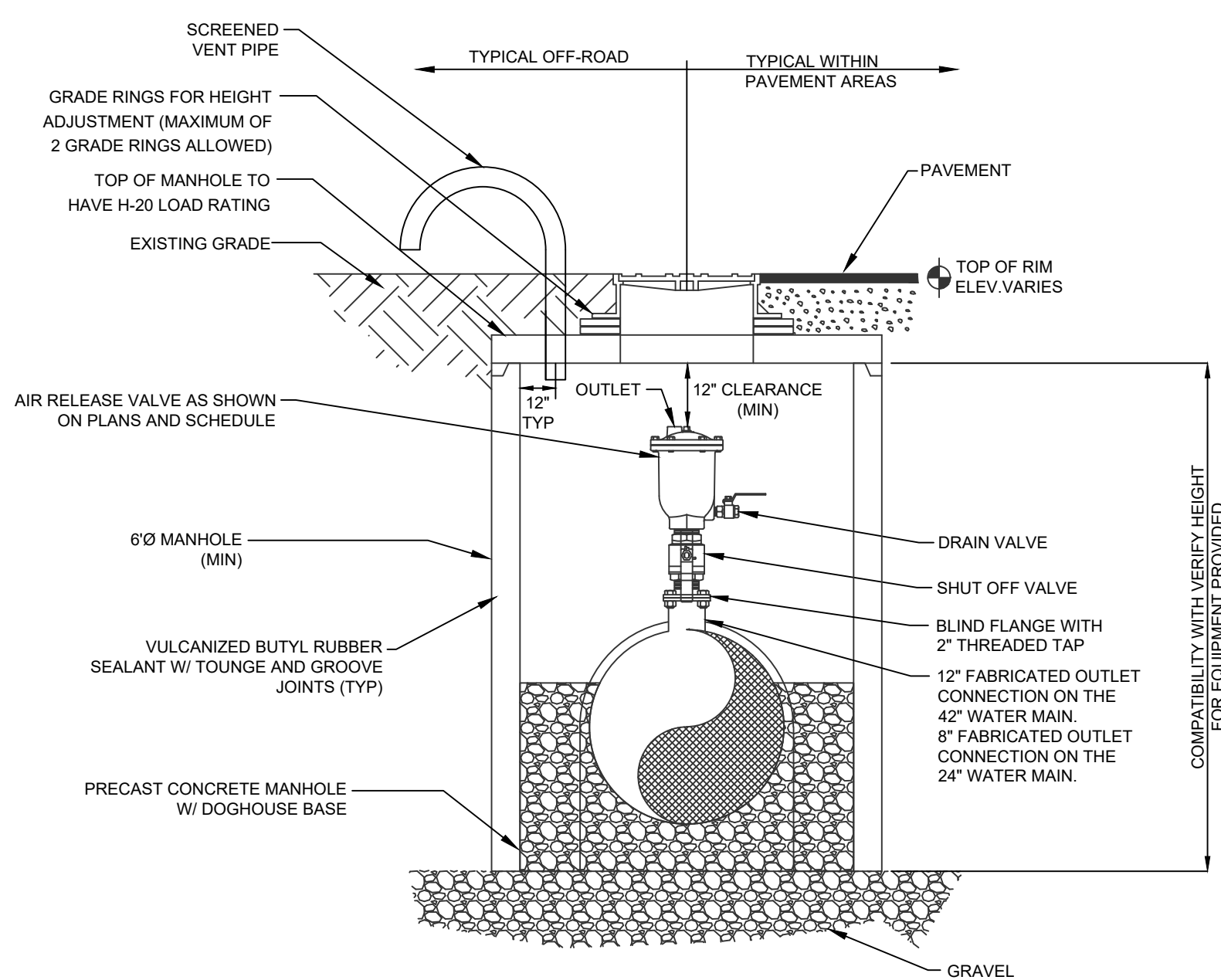
**FLUSHING ASSEMBLY**

NOT TO SCALE

- NOTES:
- PROVIDE TEMPORARY RESTRAINED PIPING AND ROUTE TO DRAINAGE BODY. FIELD VERIFY ROUTING, LENGTH REQUIRED, FITTING REQUIRED, ETC. BENDS MAY BE USED BETWEEN CHEMICAL FEED AND 90° BEND TO FACILITATE OUTFALL LOCATION.
  - PROVIDE RESTRAINED JOINT PIPE 20' ON EACH SIDE OF MAIN LINE FROM INTERSECTION WITH FLUSHING VALVE.
  - ALL PIPE SHALL BE RESTRAINED FROM MAIN LINE TO END OF FLUSHING ASSEMBLY.



- NOTES:
- POOR SOIL A-4-A-8, SILTY SOILS, CLAYS, MUCK, AND PEAT (INCLUDING SOILS WITH BEARING CAPACITY OF 2,000 PSF OR LESS) WILL REQUIRE LARGER THRUST BLOCKS OR THE ADDITION OF TWO 3/4" DIA (THREADED ENDS) STEEL RODS AND EYE BOLTS BETWEEN THE TEE AND GATE VALVE AND BETWEEN THE GATE VALVE AND THE HYDRANT. ALL OTHER JOINTS NOT RESTRAINED BY RODS MUST BE MECHANICALLY RESTRAINED.
  - PRIOR TO PROJECT FINAL INSPECTION, THE HYDRANT AND ALL ABOVE GROUND PIPING SHALL BE OILED, GREASED AND PAINTED.
  - PAINT HYDRANT IN ACCORDANCE WITH THE SPECIFICATIONS.
  - FIRE HYDRANTS SHALL BE ORDERED WITH PROPER 'BURY DEPTH' TO MEET ACTUAL FIELD CONDITIONS. THE USE OF HYDRANT EXTENSIONS SHOULD BE MINIMIZED.
  - BLUE REFLECTIVE MARKERS SHALL BE INSTALLED AS INDICATED IN THE SPECIFICATIONS.
  - IN RESIDENTIAL AND COMMERCIAL DEVELOPMENTS, FIRE HYDRANTS SHALL BE LOCATED AS CLOSE AS POSSIBLE TO THE STREET RIGHT-OF-WAY, BUT NOT LESS THAN 3' FROM THE BACK OF CURB OR EDGE OF ROADWAY.
  - MINIMUM DISTANCE BETWEEN THE VALVE AND THE HYDRANT SHALL BE 3'.
  - BENDS MAY BE USED IN HYDRANT LEAD TO FACILITATE HYDRANT LOCATION.
  - FIRE HYDRANT ASSEMBLY INCLUDES TEE.
  - GATE VALVE TO OPEN RIGHT.
  - FIRE HYDRANT MAIN NOZZLE TO POINT TOWARD ROAD.
  - REFER TO CITY OF COLUMBIA STANDARD FIRE HYDRANT DETAIL FOR ADDITIONAL REQUIREMENTS.
  - PROVIDE RESTRAINED JOINT PIPE 20' ON EACH SIDE OF MAIN LINE FROM FIRE HYDRANT CONNECTION POINT.



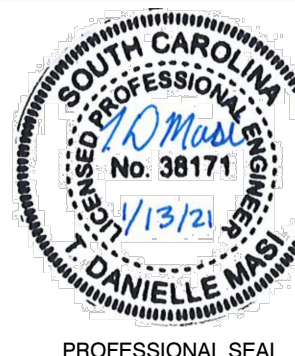
**AIR VALVE ASSEMBLY**

(NOT TO SCALE)



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NO.	DATE	DESCRIPTION

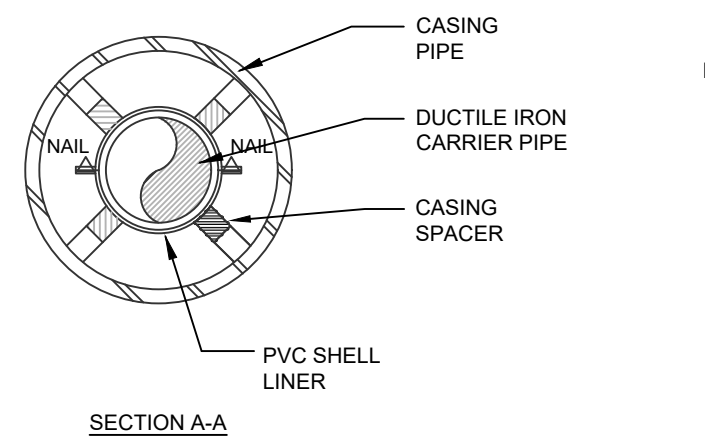
**DRAWING STATUS - FOR BID**

PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMER POND AND HARD SCRABBLE ROADS  
FOR CITY OF COLUMBIA  
RICHLAND COUNTY, SOUTH CAROLINA

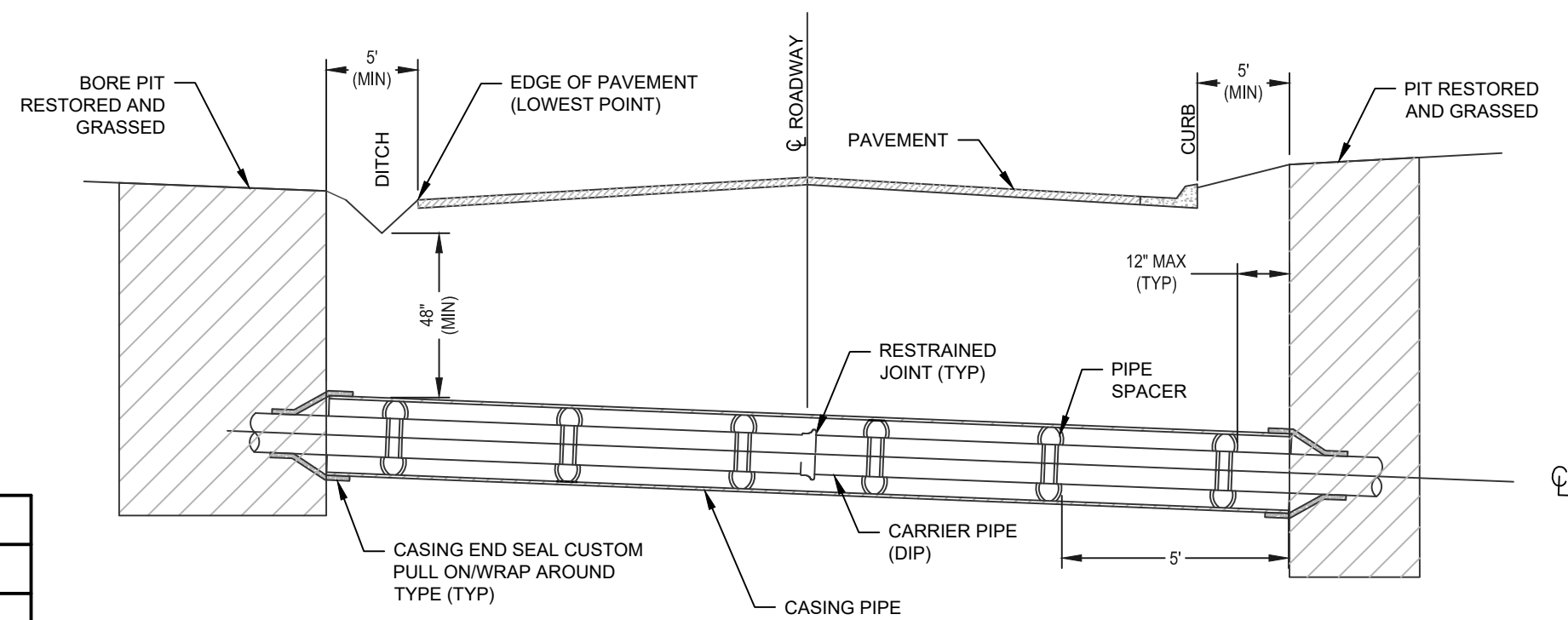
DRAWING TITLE: WATER DETAILS 1

PROJ. MGR.: BCW  
DESIGN BY: SMH / TDM  
DRAWN BY: TDM  
PROJ. DATE: 1/13/2021  
DRAWING NUMBER: D2  
WKD PROJ. NO.: 20190471.00.CA



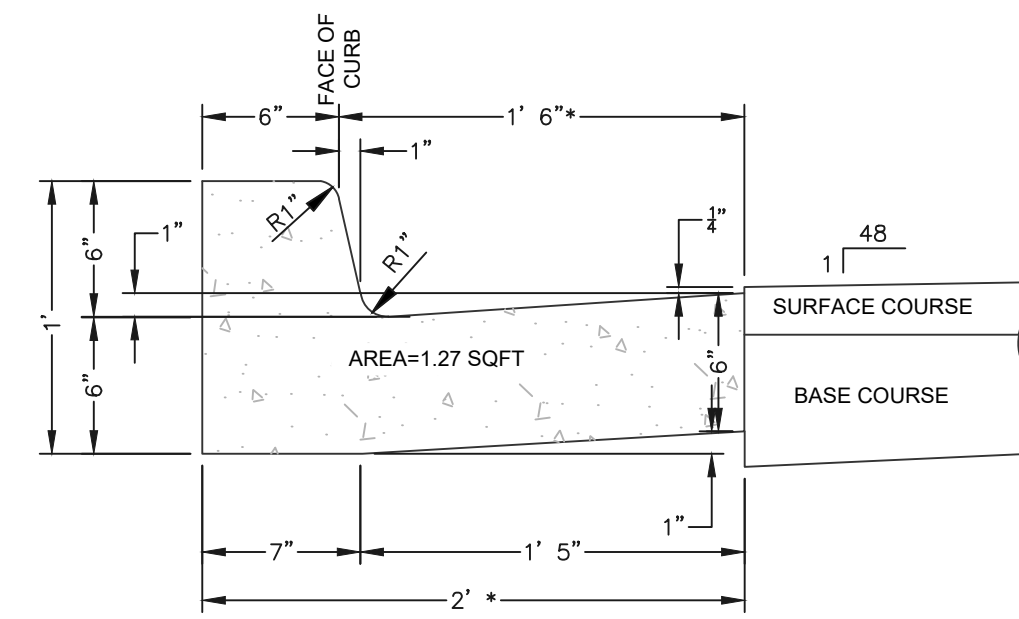


CARRIER PIPE		
PIPE SIZE	CASING O.D.	THICKNESS
6"	16"	1/4"
8"	18"	1/4"
10"	20"	5/16"
12"	24"	5/16"
16"	30"	3/8"
18"	30"	3/8"
20"	36"	1/2"
24"	36"	1/2"
42"	60"	5/8"



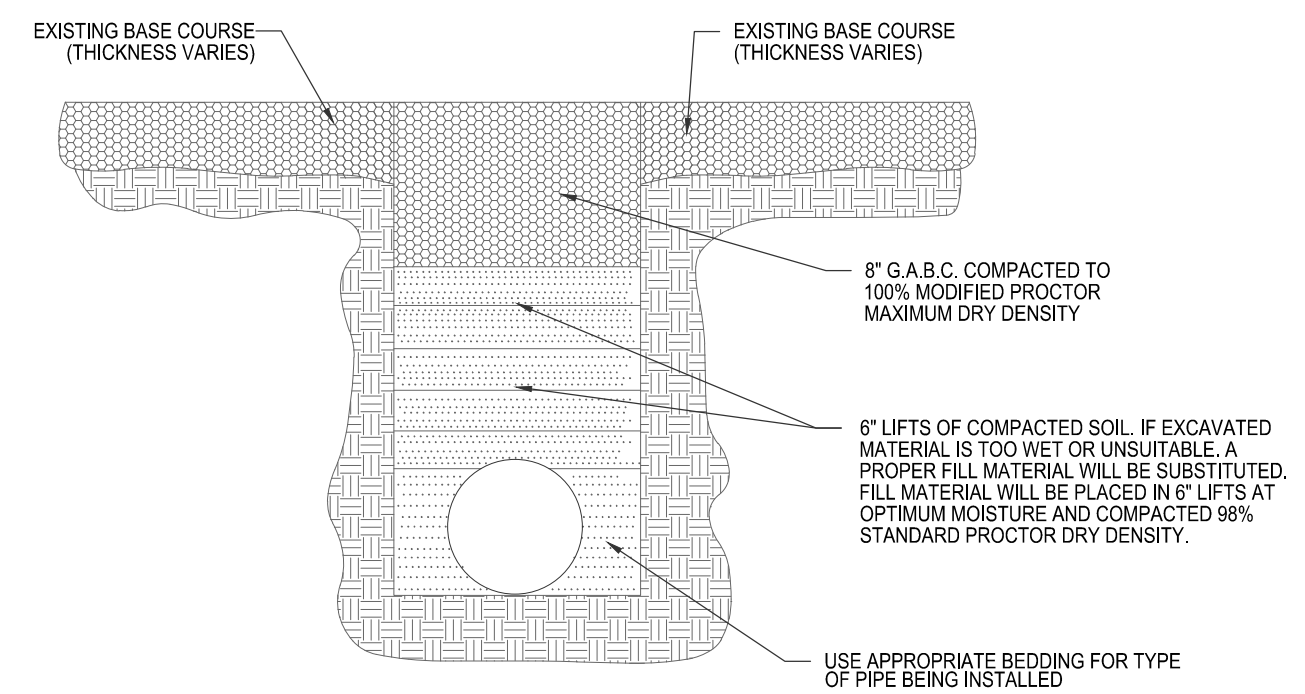
**BORE AND JACK AND CASING DETAIL**  
NOT TO SCALE

- NOTES:**
- STEEL CASING LENGTH SHALL BE IN ACCORDANCE WITH SCDOT "A POLICY FOR ACCOMMODATING UTILITIES ON HIGHWAY RIGHTS-OF-WAY OR "RAILROAD SPECIFICATIONS FOR PIPELINE OCCUPANCY" AND THE SPECIFICATIONS.
  - CASING PIPE, CARRIER PIPE DIAMETERS AND MINIMUM THICKNESS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS.
  - USE SPIDER SUPPORTS TO MOVE CARRIER PIPE INTO CASING PIPE. SPACING OF SPIDERS WILL BE DICTATED BY THE LENGTH OF CASING PIPE AND NUMBER OF JOINTS OF CARRIER PIPE.
  - MINIMUM OF 3 SPACERS PER JOINT OF PIPE.
  - SCDOT REQUIRES A MINIMUM OF 48" OF COVER BENEATH ALL SCDOT ROADWAYS.
  - USE THICKNESS IN TABLE UNLESS OTHERWISE REQUIRED BY LOCAL AUTHORITY.



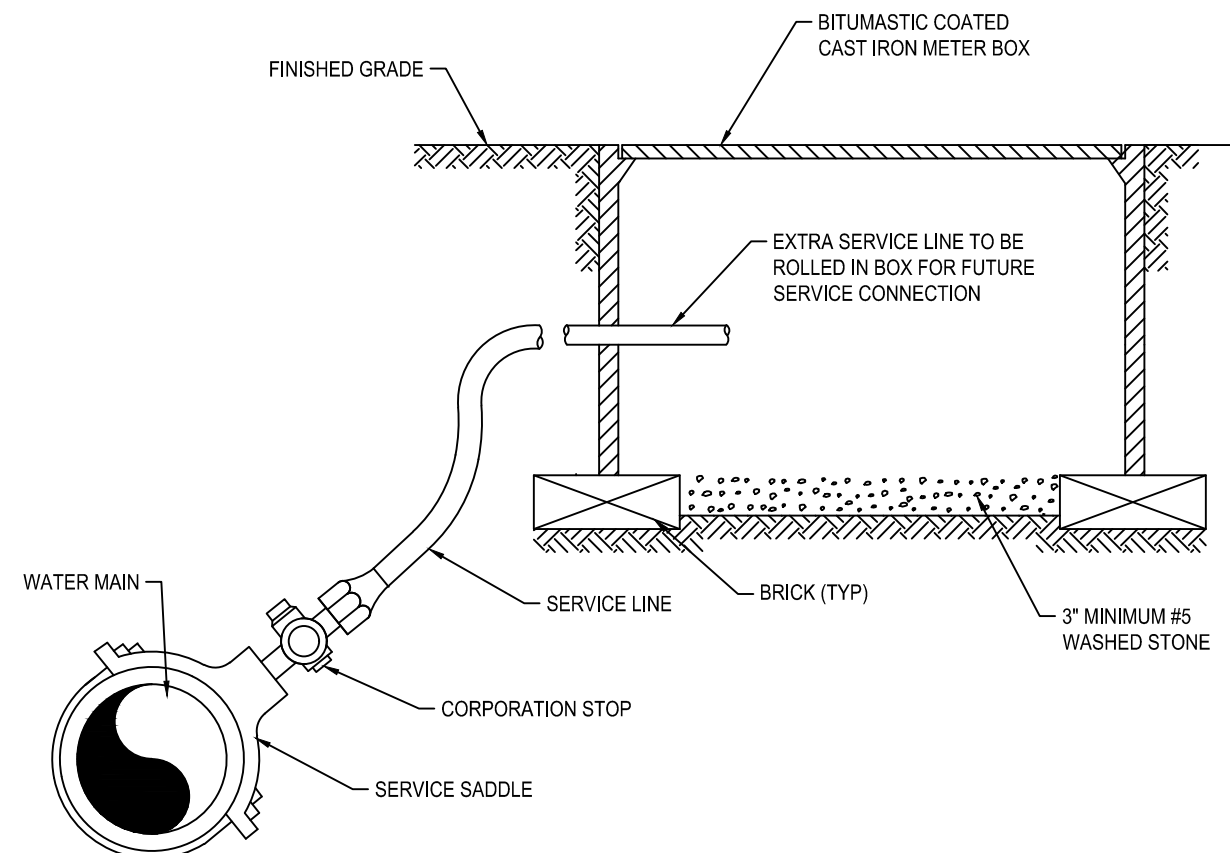
**CONCRETE CURB AND GUTTER (VERTICAL FACE) DETAIL**  
NOT TO SCALE

- NOTES:**
- \* 1'-0" FOR \*\* 1'-6" CURB & GUTTER
  - \* 1'-0" FOR \*\* 2'-0" CURB & GUTTER (SHOWN)
  - \* 2'-0" FOR \*\* 2'-6" CURB & GUTTER
  - \* 2'-0" FOR \*\* 3'-0" CURB & GUTTER
  - USE A MINIMUM OF CLASS 2500 CONCRETE
  - USE 3" TRANSITION AT END OF RADI ON INTERSECTING STREETS AND WHERE CURB IS 6 FEET OR GREATER FROM MAINLINE TRAVEL LANE. USE 10" TRANSITION WHERE CURB IS LESS THAN 6 FEET FROM MAINLINE TRAVEL LANE.



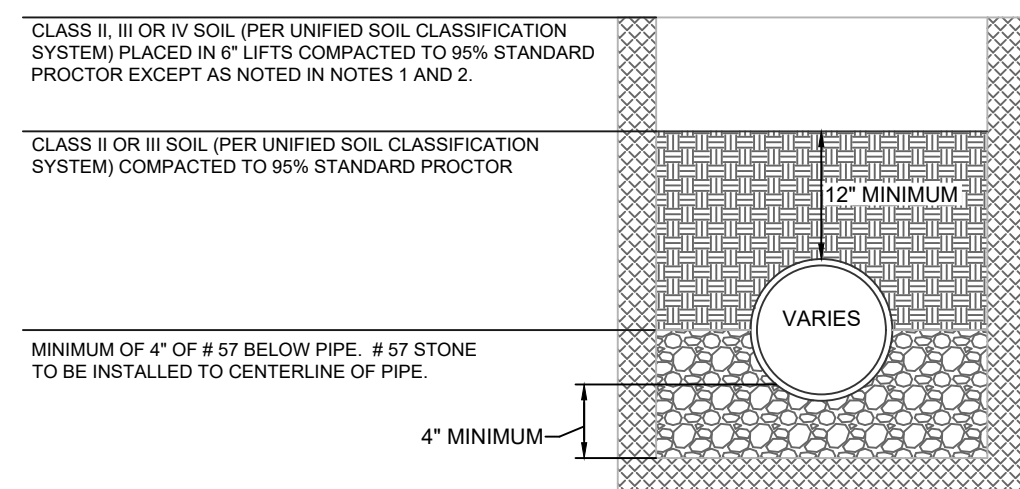
**GRAVEL DRIVEWAY REPAIR**  
NOT TO SCALE

- NOTE:**
- USE SUITABLE MATERIAL REMOVED DURING TRENCH EXCAVATION FOR BACKFILL UNLESS DIRECTED OTHERWISE BY ENGINEER.
  - ALL DRIVEWAYS TO BE CUT AND REPAIRED TO PRE-CONSTRUCTION CONDITION. CONTRACTOR TO COORDINATE WITH PROPERTY OWNERS TO ENSURE ACCESS TO PROPERTY DURING CONSTRUCTION.



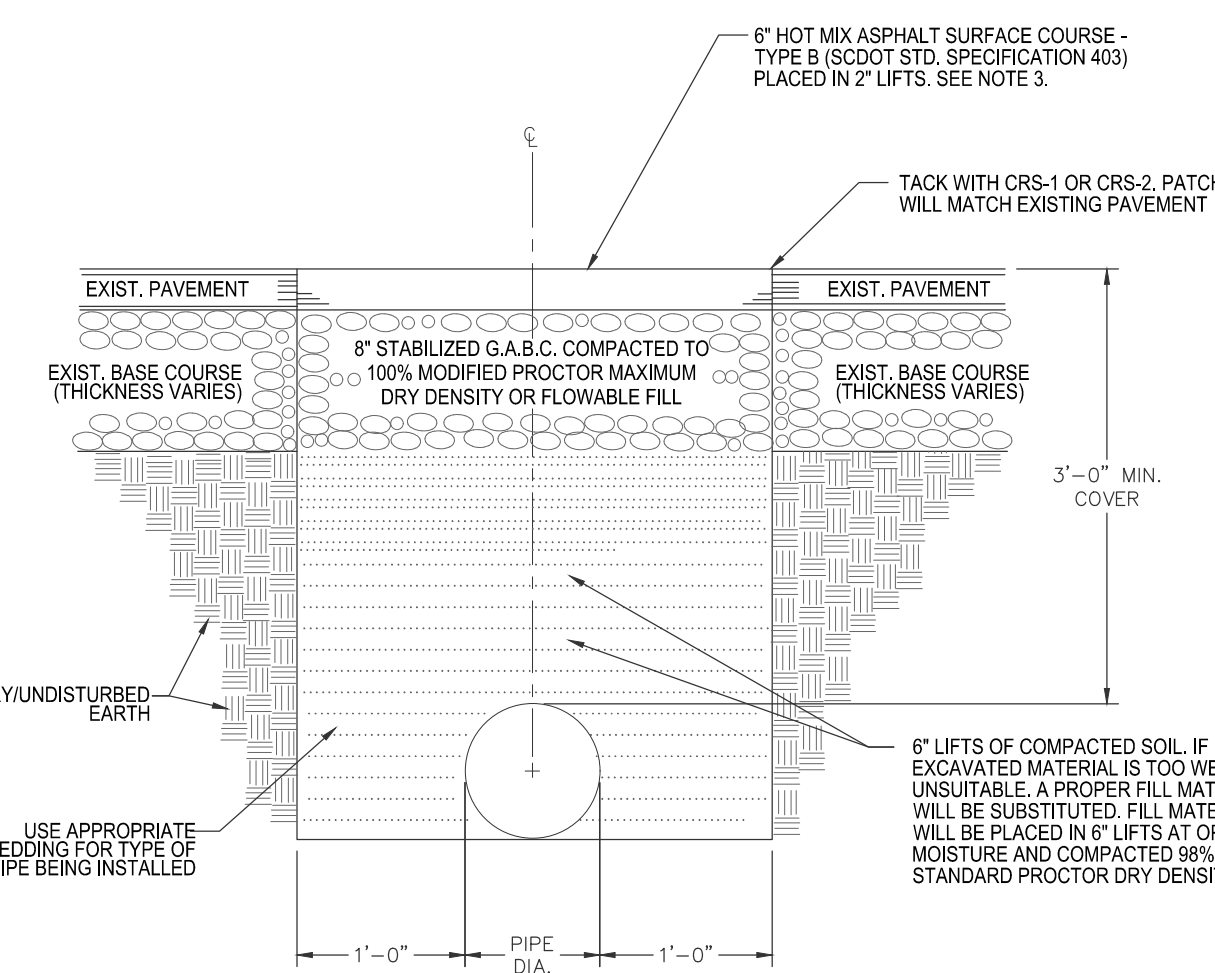
**WATER SERVICE CONNECTION DETAIL**  
NOT TO SCALE

- NOTE:**
- METER, CURB STOP, BACKFLOW PREVENTER AND ASSOCIATED APPURTENANCES TO BE INSTALLED BY OTHERS AT A FUTURE TIME.



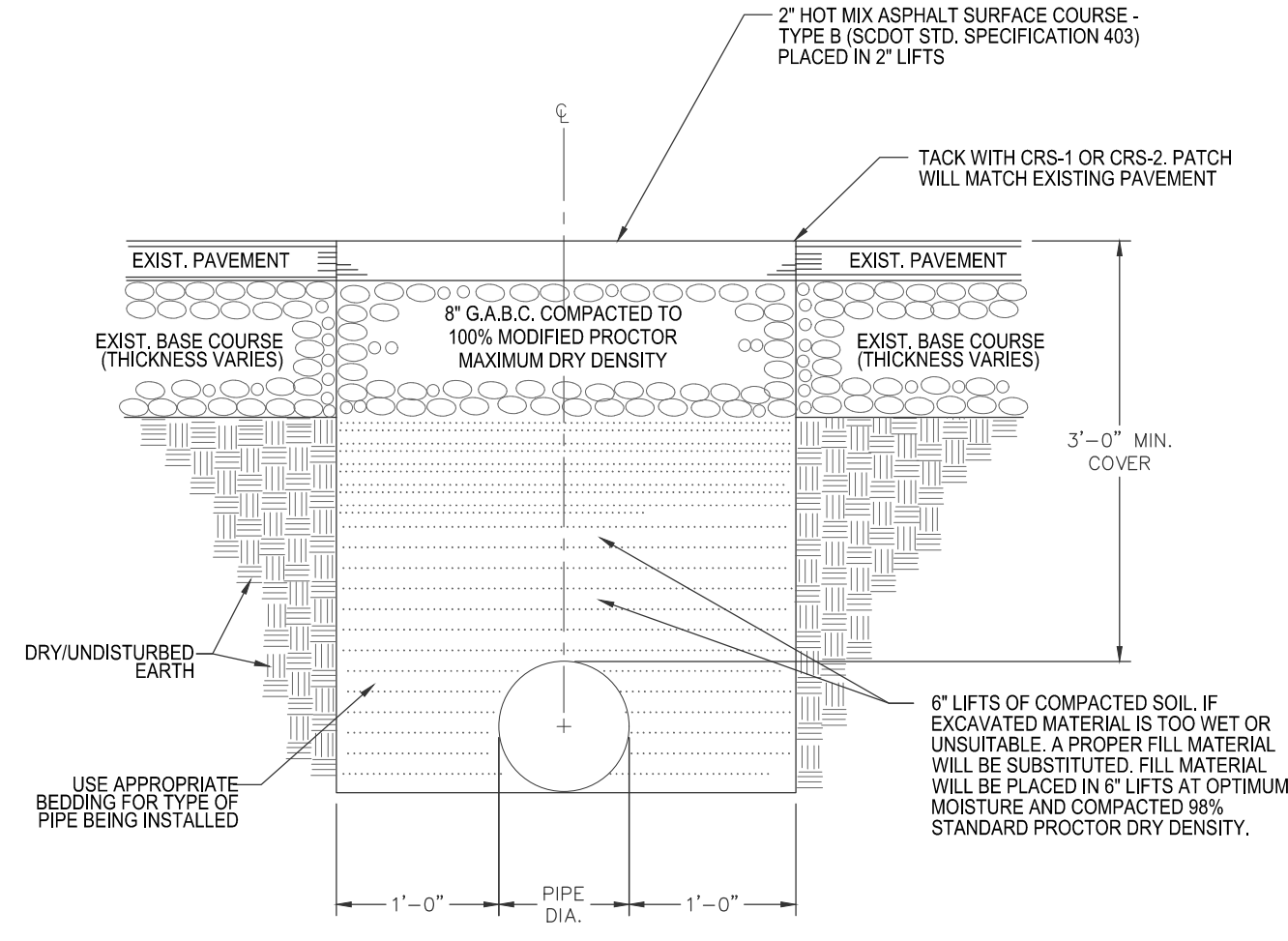
**BEDDING DETAIL**  
NOT TO SCALE

- NOTES:**
- BACKFILL TO 98% STANDARD PROCTOR WHERE EXCAVATIONS CUT THROUGH PAVEMENTS, CURBS, DRIVEWAYS AND SIDEWALKS, AND UNDER OR ADJACENT TOT STRUCTURES.



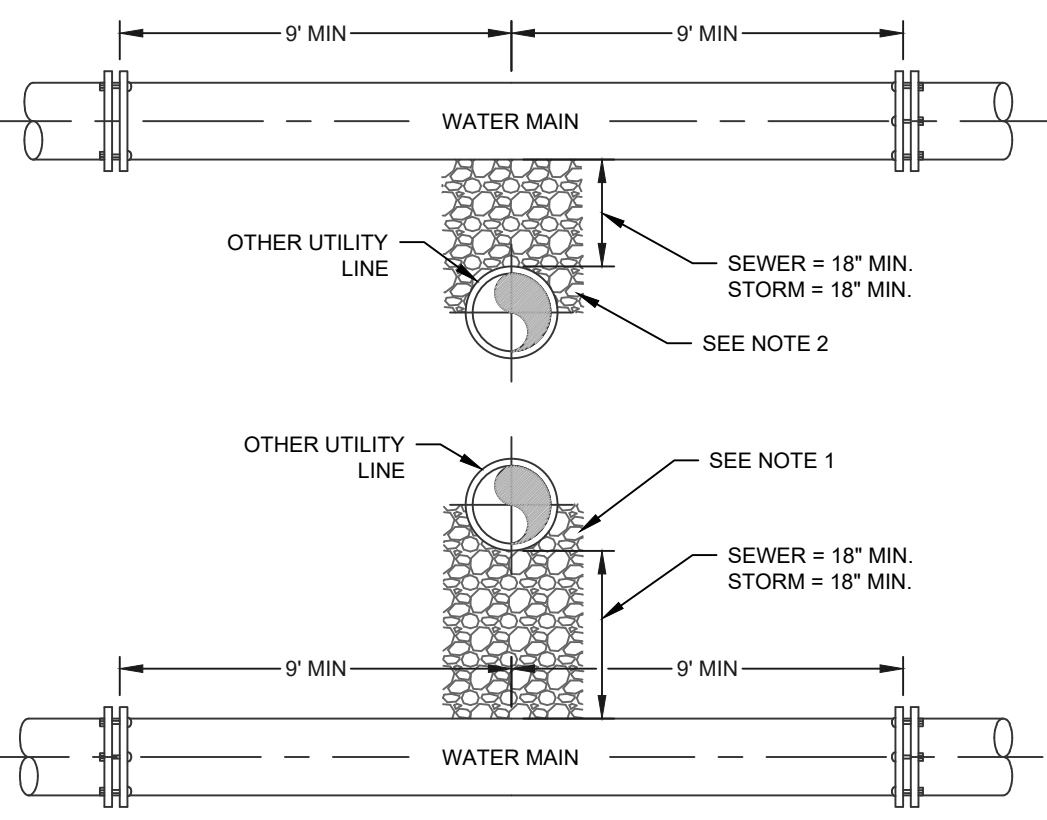
**ASPHALT PAVEMENT PATCH**  
NOT TO SCALE

- ALL O.S.H.A. REQUIREMENTS SHALL BE ADHERED TO FOR TRENCHING OPERATIONS.
- ALL DRIVEWAYS TO BE CUT AND REPAIRED TO PRE-CONSTRUCTION CONDITION. CONTRACTOR TO COORDINATE WITH PROPERTY OWNERS TO ENSURE ACCESS TO PROPERTY DURING CONSTRUCTION.
- CONTRACTOR TO MATCH EXISTING DEPTH OF PAVEMENT.



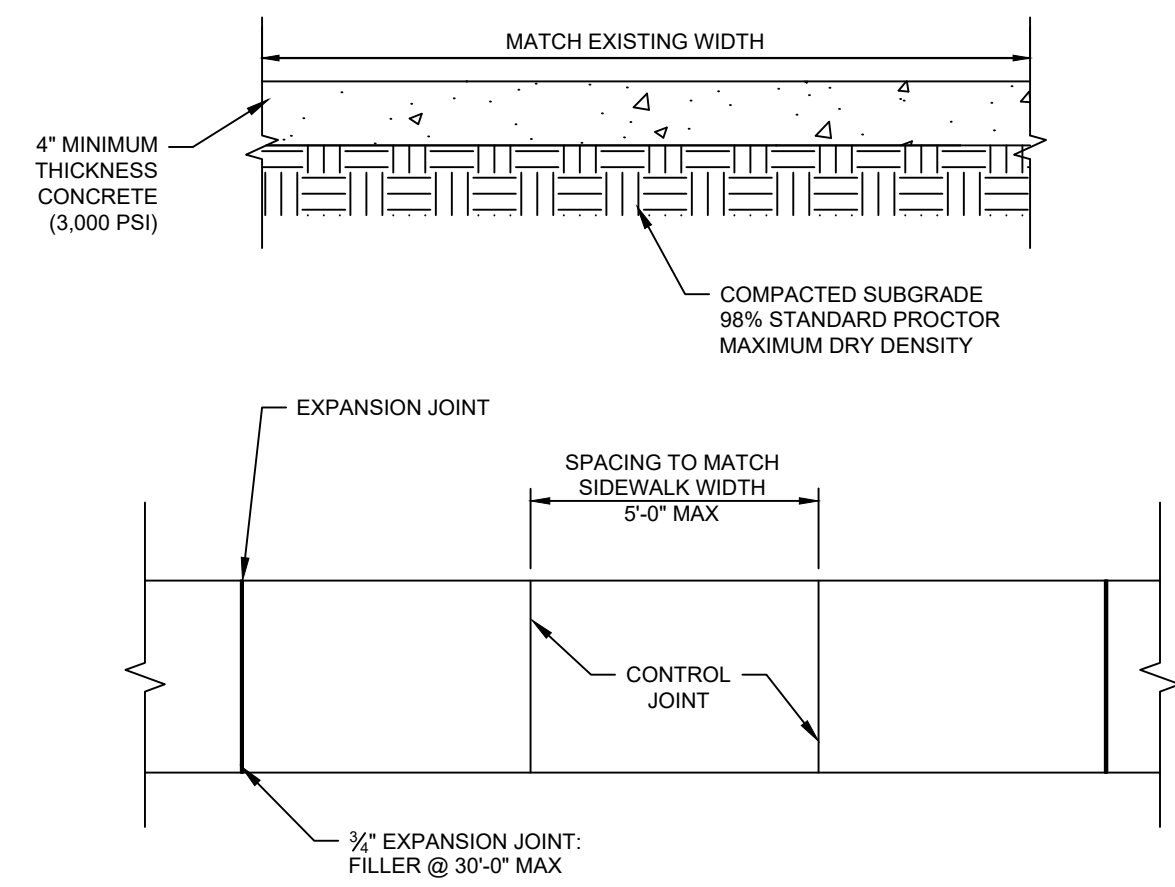
**ASPHALT DRIVEWAY REPAIR**  
NOT TO SCALE

- ALL O.S.H.A. REQUIREMENTS SHALL BE ADHERED TO FOR TRENCHING OPERATIONS.
- ALL DRIVEWAYS TO BE CUT AND REPAIRED TO PRE-CONSTRUCTION CONDITION. CONTRACTOR TO COORDINATE WITH PROPERTY OWNERS TO ENSURE ACCESS TO PROPERTY DURING CONSTRUCTION.



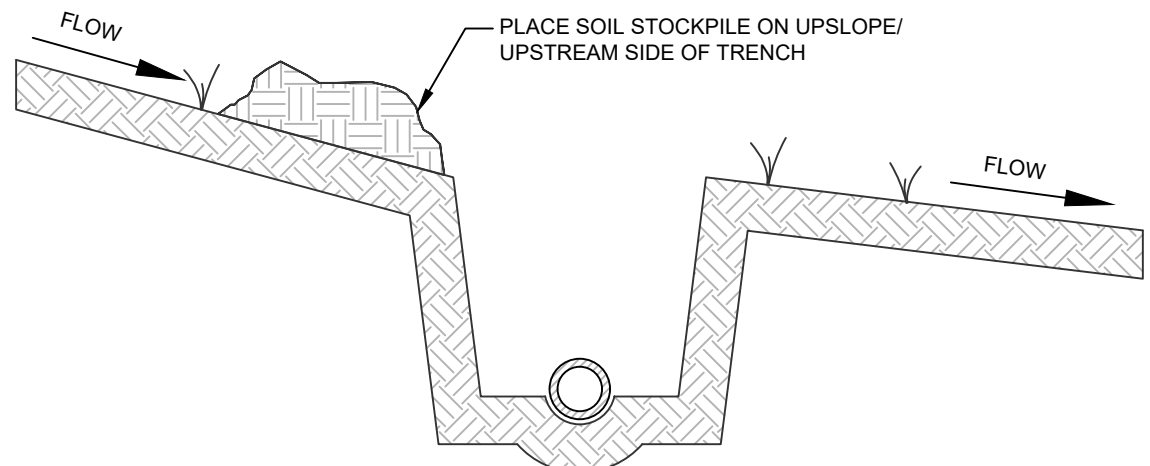
**WATER AND SEWER/STORM CROSSING DETAIL**  
NOT TO SCALE

- NOTES:**
- WHERE A WATER LINE CROSSES UNDER AN EXISTING UTILITY, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE OTHER EXISTING UTILITY TO PREVENT DAMAGE TO THE WATER MAIN.
  - IF CLEARANCE OF STORM DRAIN IS LESS THAN 18", USE CONCRETE ENCASEMENT ON DIP, WHICH SHALL HAVE POLYETHYLENE ENCASEMENT PRIOR TO CONCRETE BEING POURED.



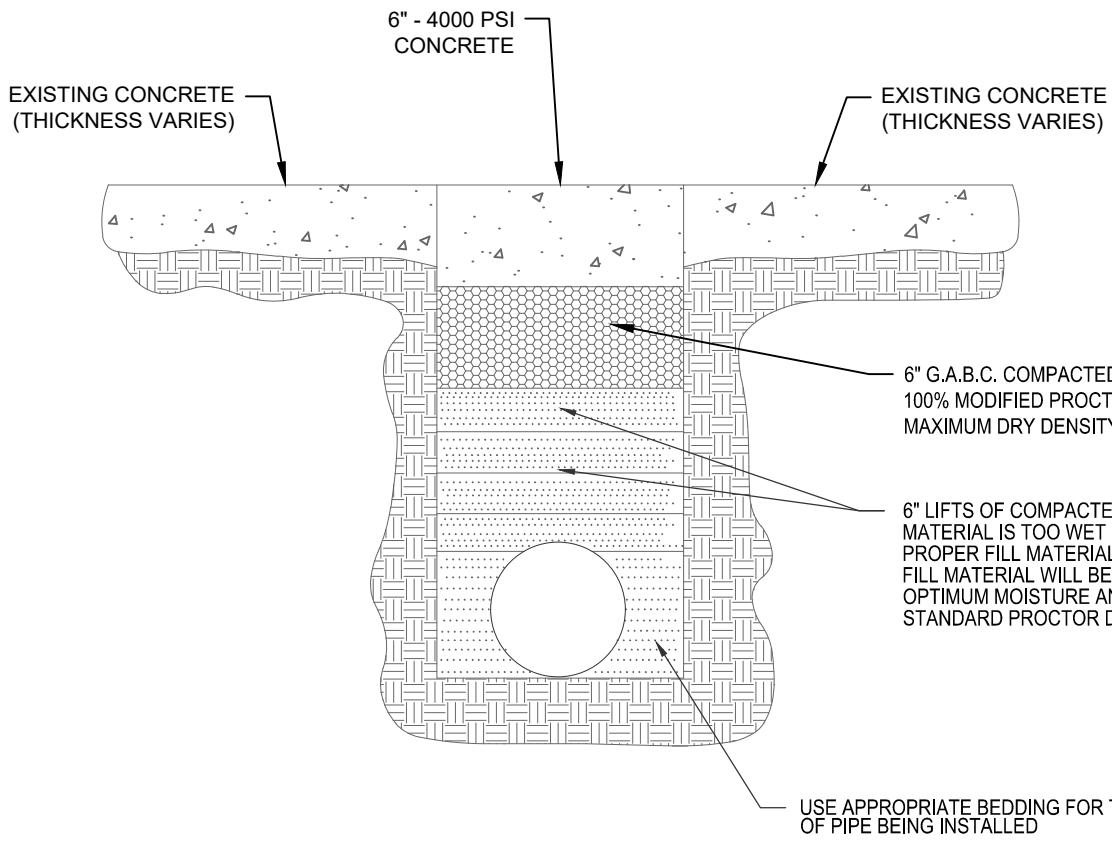
**CONCRETE SIDEWALK REPAIR**  
NOT TO SCALE

- NOTE:**
- PROVIDE EXPANSION JOINTS @ INTERSECTIONS OF WALKS AND WHERE WALK ABUTTS OTHER STRUCTURES.
  - ALL JOINTS AND EDGES TO BE TOOLED.
  - CONTROL JOINTS TO BE TOOLED TO A MINIMUM DEPTH OF 1".
  - USE SUITABLE MATERIAL REMOVED DURING TRENCH EXCAVATION FOR BACKFILL UNLESS DIRECTED OTHERWISE BY ENGINEER.
  - ALL O.S.H.A. REQUIREMENTS SHALL BE ADHERED TO FOR TRENCHING OPERATIONS.
  - ALL SIDEWALKS TO BE CUT AND REPAIRED TO PRE-CONSTRUCTION CONDITION.



**TYPICAL TRENCH EXCAVATION STOCKPILE**  
NOT TO SCALE

- GENERAL NOTES:**
- A MINIMUM OF 12" FROM OUTSIDE DIAMETER OF PIPE TO SIDE OF TRENCH MUST BE ALLOWED FOR COMPACTION OF FILL MATERIAL.
  - BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER THE PIPE IS LAID. UNDER NO CIRCUMSTANCES SHALL WATER BE PERMITTED TO RISE IN UNBACKFILLED TRENCHES AFTER THE PIPE HAS BEEN PLACED. COMPACTION REQUIREMENTS SHALL BE ATTAINED BY THE USE OF MECHANICAL TAMPS ONLY - EACH AND EVERY.
  - ALL PIPE GRADES SHALL BE AS SHOWN ON APPROVED PLANS OR AS DIRECTED BY ENGINEER.
  - MAINTAIN A MINIMUM OF 3 FEET OF COVER OVER PIPE OR USE DUCTILE IRON PIPE.
  - ANY OVER EXCAVATION BELOW GRADE SHOWN SHALL BE BACKFILLED W/ NO. 67 STONE REGARDLESS OF TYPE OF BEDDING. LAYER OF BACKFILL SHALL BE PLACED LOOSE AND THOROUGHLY TAMPED INTO PLACE. BE USED TO INVERT GRADE REGARDLESS OF PIPE MATERIAL.
  - #12 GAUGE PLASTIC COATED STRANDED COPPER WIRE SHALL BE DUCT TAPED TO ALL INSTALLED WATER MAINS, REGARDLESS OF MATERIAL.
  - 3" WIDE NON-METALLIC BLUE TAPE IDENTIFIED AS "BURIED WATER LINE" SHALL BE INSTALLED 12" BELOW FINAL GRADE OVER WATER MAIN.



**CONCRETE DRIVEWAY REPAIR**  
NOT TO SCALE

- NOTE:**
- USE SUITABLE MATERIAL REMOVED DURING TRENCH EXCAVATION FOR BACKFILL UNLESS DIRECTED OTHERWISE BY ENGINEER.
  - ALL O.S.H.A. REQUIREMENTS SHALL BE ADHERED TO FOR TRENCHING OPERATIONS.
  - ALL DRIVEWAYS TO BE CUT AND REPAIRED TO PRE-CONSTRUCTION CONDITION. CONTRACTOR TO COORDINATE WITH PROPERTY OWNERS TO ENSURE ACCESS TO PROPERTY DURING CONSTRUCTION.



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NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

PROJECT NAME: **WATER SYSTEM IMPROVEMENTS ALONG RIMMER POND AND HARD SCRABBLE ROADS**

FOR: **CITY OF COLUMBIA**  
RICHLAND COUNTY, SOUTH CAROLINA

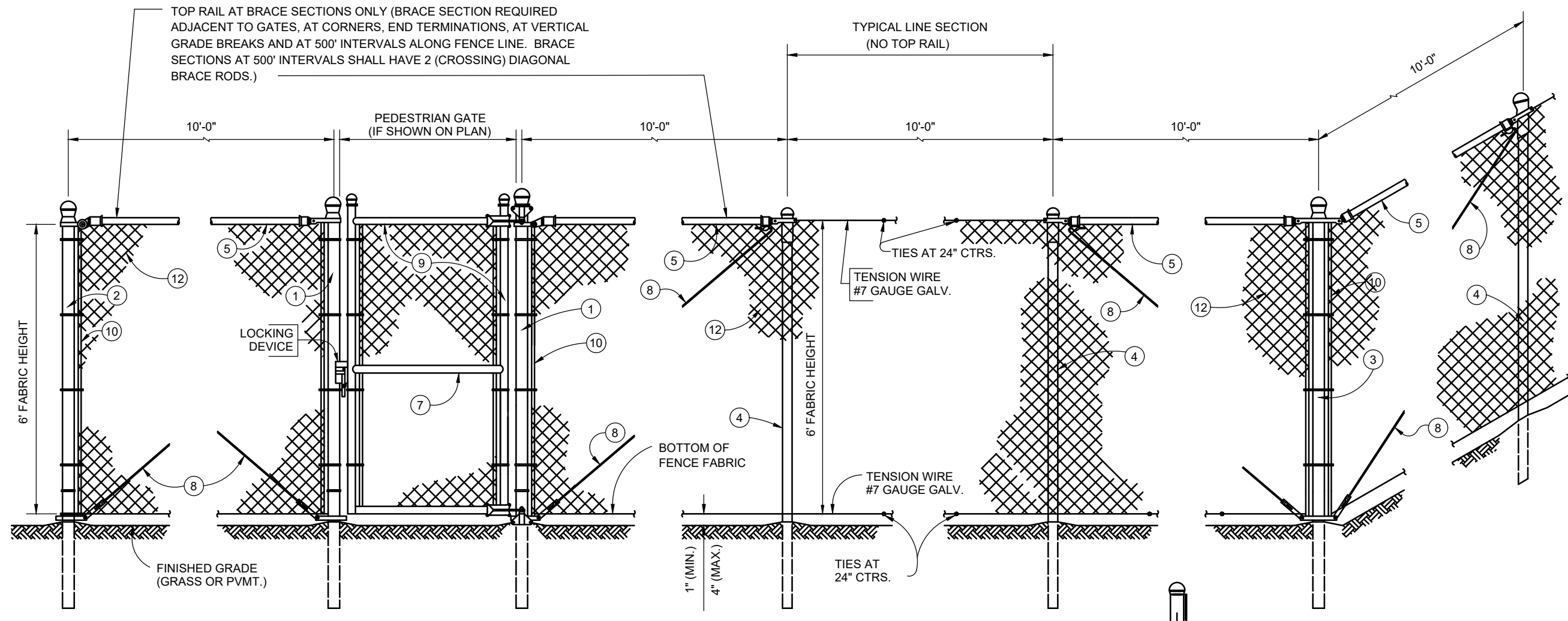
DRAWING TITLE: **WATER DETAILS 2**

PROJ. MGR.: BCW  
DESIGN BY: SMH / TDM  
DRAWN BY: TDM  
PROJ. DATE: 1/13/2021  
DRAWING NUMBER:

**D3**

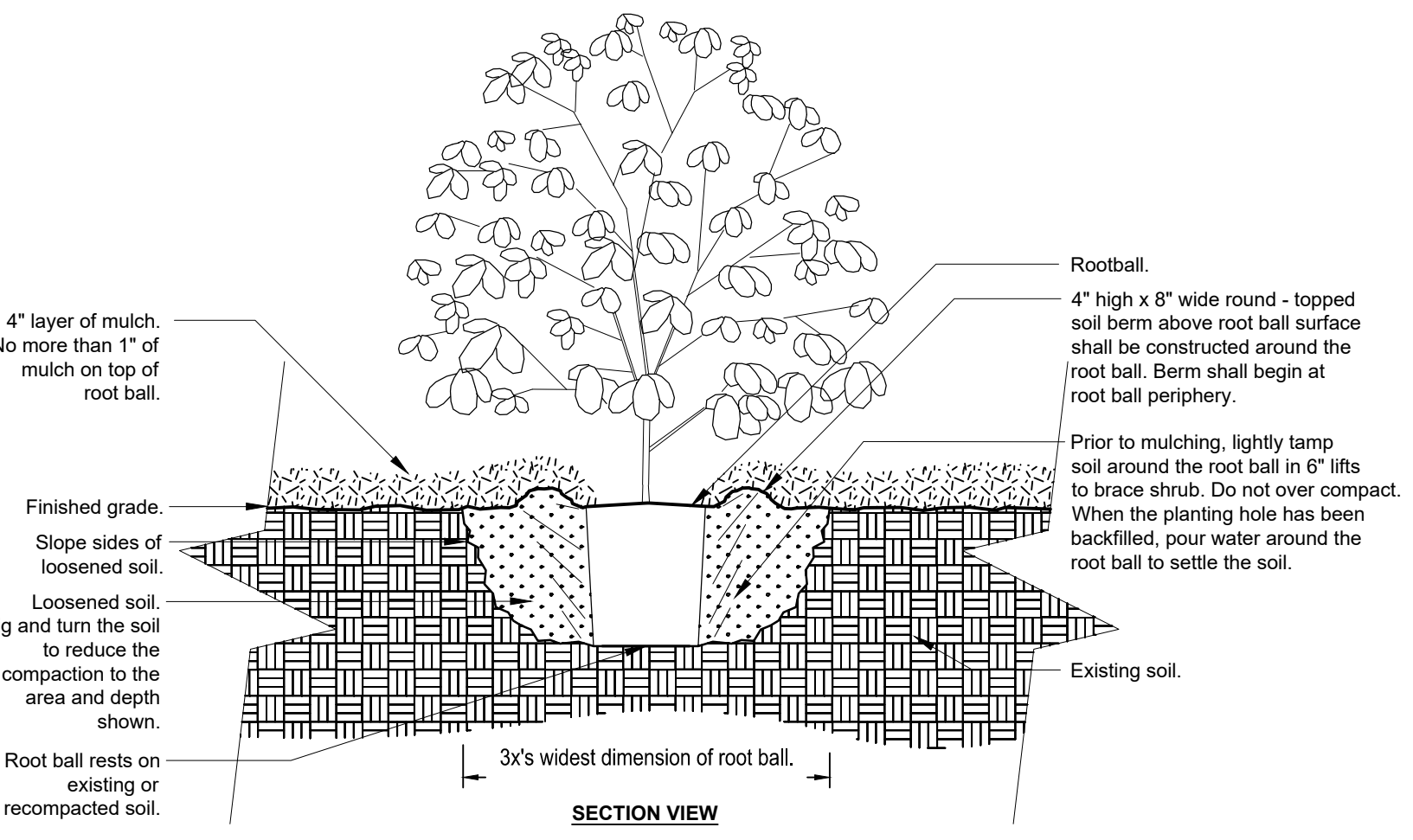
WKD PROJ. NO.:  
20190471.00.CA





TEMPORARY FENCE ELEVATION

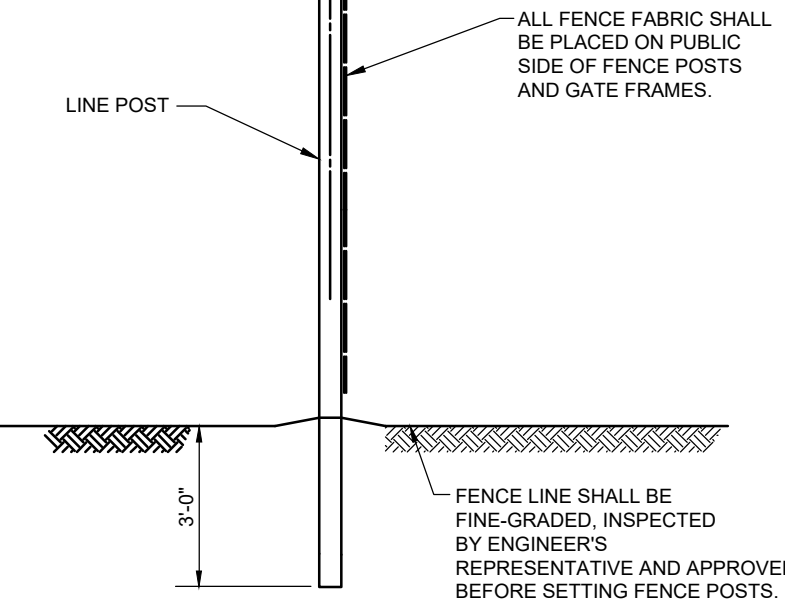
- NOTES:**
- REFER TO GENERAL NOTES, PLAN SHEETS AND FINAL EASEMENT DOCUMENTS FOR ADDITIONAL NOTES.
  - REFER TO PROJECT SPECIFICATIONS FOR SODDING AND SEEDING GUIDELINES.
  - RICHLAND COUNTY LANDSCAPING STANDARDS (SECTION 26-176(h)):
    - SCREENING FOR LOADING AREAS, TRASH COLLECTION AREAS, OUTDOOR STORAGE DISPLAY AREAS, AND UTILITY SERVICE AREAS. ALL LOADING AREAS, TRASH COLLECTION AREAS (INCLUDING DUMPSTERS), OUTDOOR STORAGE DISPLAY AREAS, AND UTILITY SERVICE AREAS VISIBLE FROM A PUBLIC ROAD OR ADJACENT PROPERTY LINE SHALL BE SCREENED FROM SUCH ADJACENT ROAD OR PROPERTY UNLESS ALREADY SCREENED BY AN INTERVENING BUILDING OR BUFFER TRANSITION YARD. LANDSCAPING SHALL NOT INTERFERE WITH THE ACCESS AND OPERATION OF ANY SUCH STRUCTURE OR FACILITY. SCREEN TYPES INCLUDE:
      - HEDGE. A CONTINUOUS HEDGE OF EVERGREEN AND/OR DENSELY TWIGGED DECIDUOUS SHRUBS PLANTED IN A FIVE (5) FOOT STRIP SPACED A MAXIMUM OF FIVE (5) FEET APART OR A ROW OF EVERGREEN TREES PLANTED NO MORE THAN EIGHT (8) FEET APART. THE SHRUBS SHALL BE PLANTED AT A MINIMUM HEIGHT OF FORTY-EIGHT (48) INCHES AND THE HEDGE SHALL EXCEED THE HEIGHT OF THE RECEPTACLE BY AT LEAST SIX (6) INCHES AT THE PLANTS' MATURITY. (ORD. 055-12HR; 10-16-12)
      - FENCE OR WALL. A FENCE OR WALL THAT MATCHES THE HEIGHT OF THE RECEPTACLE AND WITH THE FINISHED SIDE OF THE FENCE FACING THE ADJUTING ROAD OR PROPERTY. FENCES LONGER THAN TWENTY-FIVE (25) LINEAR FEET SHALL BE LANDSCAPED WITH TREES AND/OR SHRUBS PLANTED IN A MINIMUM FIVE (5) FOOT PLANTING AREA, EXCEPT AROUND ACCESS AREAS, SPACED NO FARTHER THAN EIGHT (8) FEET APART IN ORDER TO SCREEN AT LEAST FIFTY PERCENT (50%) OF THE FENCE OR WALL. (ORD. 055-12HR; 10-16-12)



PLANTING DETAIL  
NOT TO SCALE

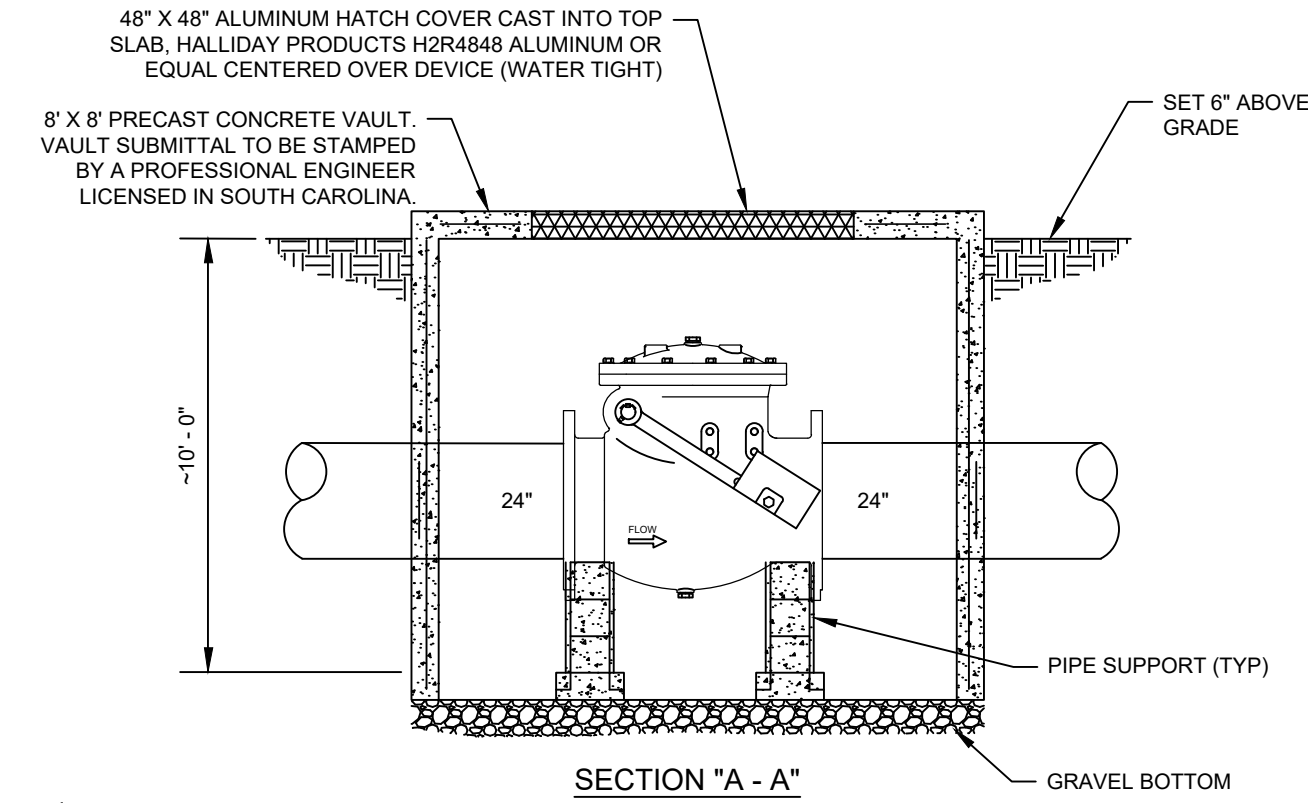
FENCE TABLE		
ITEM NO.	ITEM	OUTSIDE DIMENSIONS
		INCHES
1	GATE POST 5' AND LESS SWING	2.875
1	GATE POST 8' TO 11' SWING ANY WIDTH SLIDE	4.00
1	GATE POST 12' TO 17' WIDE SWING	6.625
1	GATE POST 18' TO 23' WIDE SWING	8.625
2	END POST	2.375
3	CORNER POST	2.375
4	LINE POST	1.90
5	TOP RAIL (AT BRACE SECTIONS ONLY)	1.66
6	BRACE TUBE	1.66
7	GATE BRACE TUBE	1.66
8	BRACE ROD	3/8" DIA.
9	GATE FRAME 17' AND LESS WIDE (SWING OR SLIDE)	1.90
9	GATE FRAME 18' OR WIDER (SWING OR SLIDE)	2.375
10	STRETCHER BAR	3/16" x 3/4"
12	FENCE FABRIC	9 GA. ALUMINIZED STEEL (2"x2" CHAIN-LINK)

- NOTES:**
- FENCE AND GATE POSTS SHALL BE COATED GALVANIZED HIGH-STRENGTH STEEL; ALLIED "SS-40" OR APPROVED EQUAL. GATE FRAMES SHALL BE ACCURATELY CUT AND FULLY FILLET WELD. ALL WELDED AREAS SHALL BE FULLY WIRE BRUSHED AND COATED WITH "ZRC" COLD-GALVANIZING COMPOUND.
  - MISCELLANEOUS HARDWARE SHALL BE HEAVY COMMERCIAL GRADE GALVANIZED STEEL.
  - SUBMIT COMPLETE SHOP DRAWINGS AND/OR CERTIFICATIONS FOR ALL ITEMS.
  - FENCE LINE SHALL BE FINE-GRADED AND INSPECTED BEFORE INSTALLING FENCE - SEE FENCE SECTION.
  - FENCE FABRIC SHALL BE WELL TIGHTENED; TIE SPACING SHALL NOT EXCEED SPECIFIED SPACING.
  - FENCE POST TO BE DRIVE 3' INTO EXISTING GRADE.

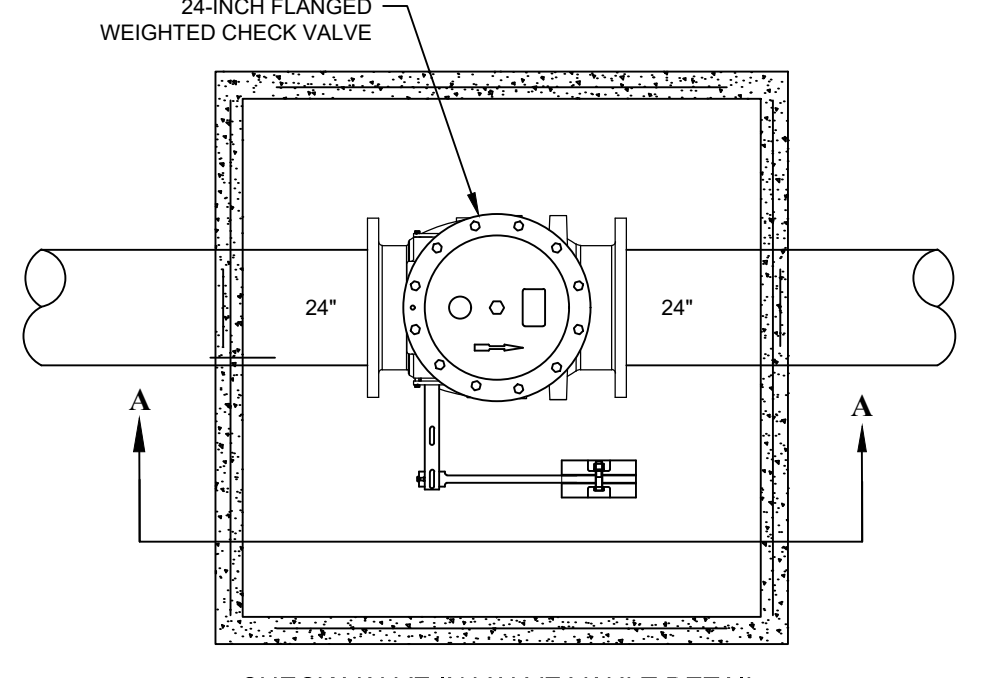


TEMPORARY FENCE SECTION

TEMPORARY CHAIN LINK FENCING  
NOT TO SCALE



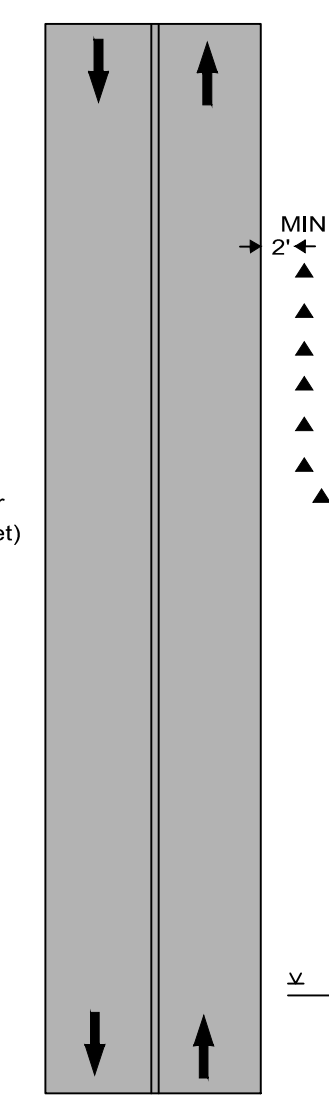
SECTION "A-A"



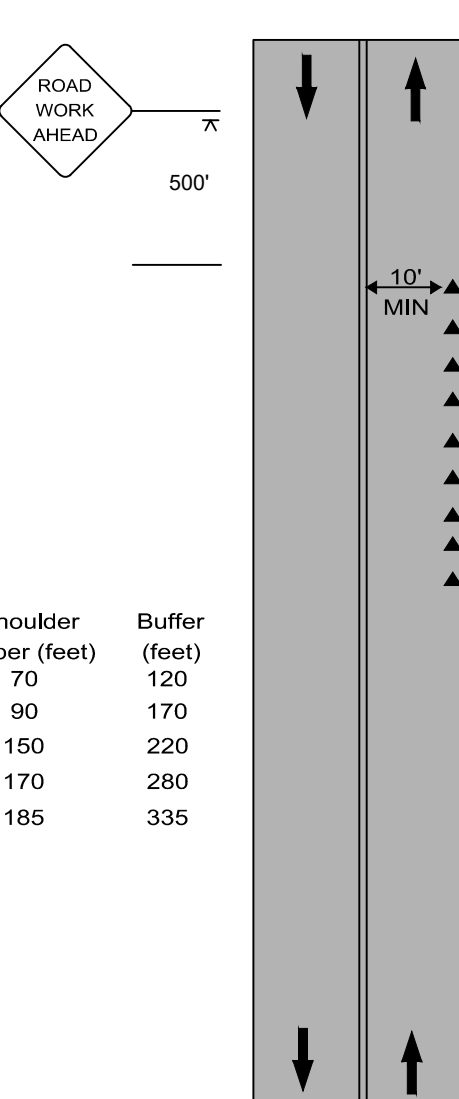
CHECK VALVE IN VALVE VAULT DETAIL  
NOT TO SCALE

Speed Limit	Shoulder Taper (feet)
35	70
40	90
45	150
50	170
55	185

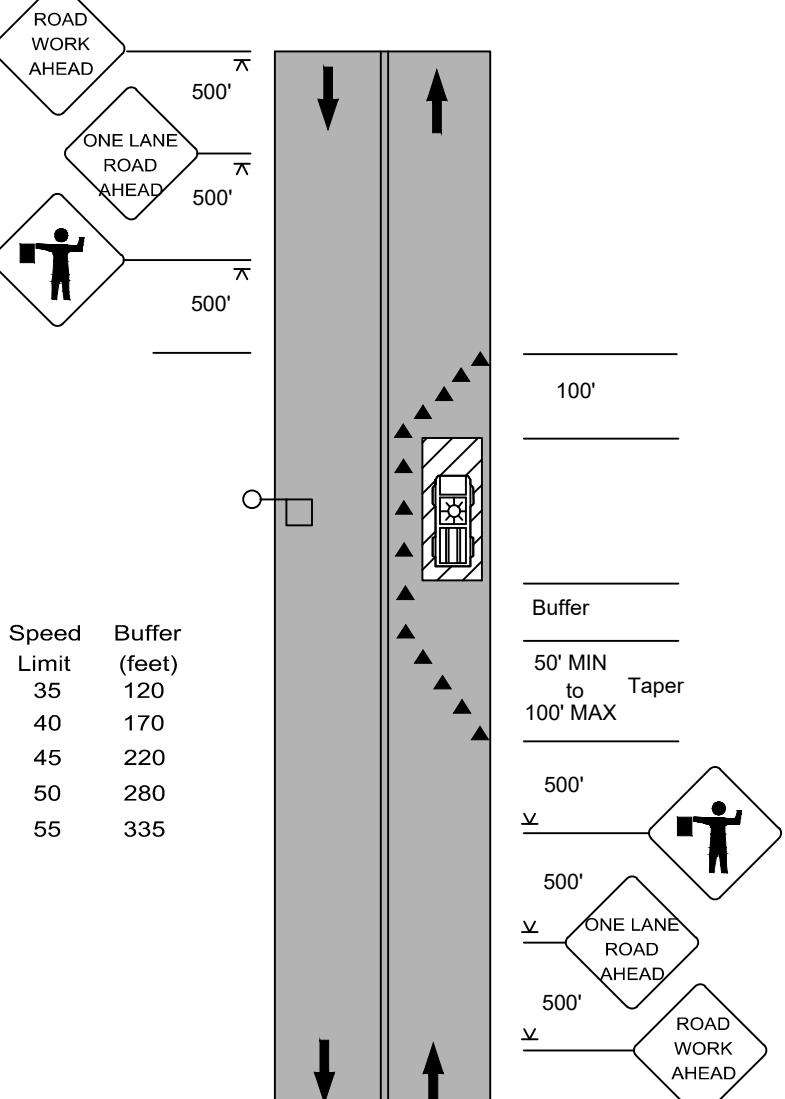
- NOTES:**
- FOR OPERATIONS OF 60 MINUTES OR LESS, ALL SIGNS AND CHANNELIZING DEVICES MAY BE ELIMINATED IF A VEHICLE WITH AN ACTIVATED ROTATING OR STROBE LIGHT IS USED.
  - FOR LOW-SPEED (35 MPH OR LESS) CONDITIONS, A 200-FOOT SIGN SPACING MAY BE USED. FOR SPEEDS OF 40 TO 50 MPH A 350-FOOT SIGN SPACING MAY BE USED.
  - "UTILITY WORK AHEAD", "ROAD WORK AHEAD", OR WORK SYMBOL SIGNS MAY BE USED INSTEAD OF THE "SHOULDER WORK" SIGN.
  - FOR WORK PERFORMED ON A PAVED SHOULDER AT LEAST 8 FEET WIDE, AN ADDITIONAL GENERAL WARNING SIGN (E.G. "ROAD WORK AHEAD") SHOULD BE USED IN ADVANCE OF THE "SHOULDER WORK" SIGN.



SHOULDER WORK (2'-15' FROM THE EDGE OF PAVEMENT)  
NOT TO SCALE



SHOULDER WORK WITH MINOR ENCROACHMENT (WITHIN 2' OF THE EDGE OF PAVEMENT)  
NOT TO SCALE



LANE CLOSURE ON A TWO-LANE, LOW VOLUME ROAD (ONE-FLAGGER OPERATION)  
NOT TO SCALE

- NOTES:**
- A SINGLE FLAGGER MAY BE ADEQUATE FOR LOW-VOLUME SITUATIONS WITH SHORT WORK ZONES ON STRAIGHT ROADWAYS. WHERE ONE FLAGGER IS USED, THE FLAGGER MUST BE POSITIONED TO BE VISIBLE TO APPROACHING TRAFFIC FROM BOTH DIRECTIONS.
  - FOR LOW-SPEED (35 MPH OR LESS) CONDITIONS, A 200-FOOT SIGN SPACING MAY BE USED. FOR SPEEDS FOR 40 TO 50 MPH A 350-FOOT SIGN SPACING MAY BE USED.
  - FOR OPERATIONS OF 60 MINUTES OR LESS, THE "ROAD WORK AHEAD" SIGN MAY BE OMITTED.

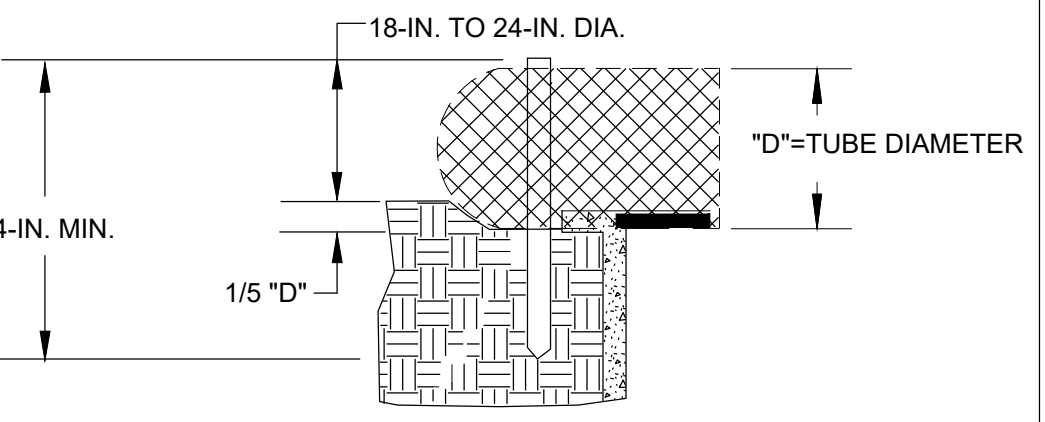
**TYPE A - SEDIMENT TUBE INLET PROTECTION**

**GENERAL NOTES**

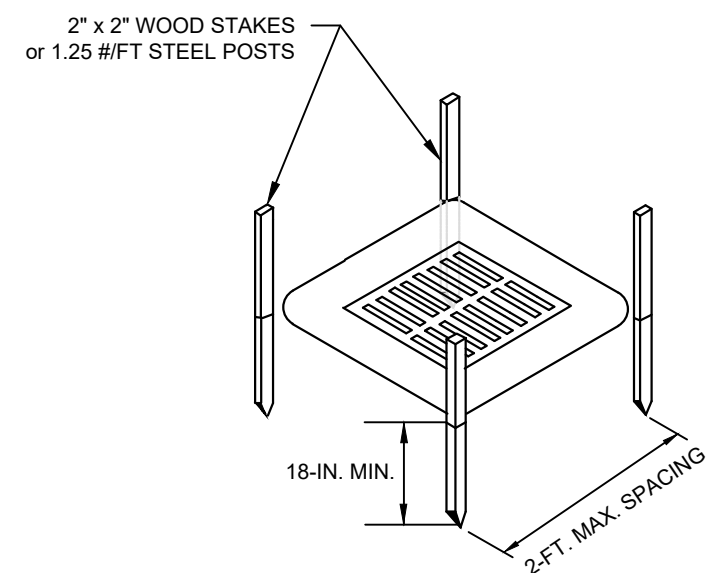
- Sediment tubes are elongated tubes of compacted geotextiles, curled excelsior wood, natural coconut fiber, or hardwood mulch. Straw, pine needle, and leaf mulch-filled sediment tubes are not permitted.
- The outer netting of the sediment tube should consist of seamless, high-density polyethylene photodegradable materials treated with ultraviolet stabilizers or a seamless, high-density polyethylene non-degradable material.
- Sediment tube diameters shall range from 18-inches to 24-inches. Sediment tubes with smaller diameters are prohibited when used as inlet protection.
- Curled excelsior wood, or natural coconut products that are rolled up to create a sediment tube are not allowed.
- Sediment tubes should be staked using wooden oak stakes (2-inch X 2-inch) or steel posts (standard "U" or "T" sections with a minimum weight of 1.25 pounds per foot) at a minimum of 48-inches in length placed on 2-foot centers.
- Install all sediment tubes to ensure that no gaps exist between the soil and the bottom of the tube. Manufacturer's recommendations should always be consulted before installation.
- The ends of adjacent sediment tubes should be overlapped 6-inches to prevent flow and sediment from passing through the field joint.
- Sediment tubes should not be stacked on top of one another.
- Each sediment tube should be installed in a trench with a depth equal to 1/5 the diameter of the sediment tube.
- Install stakes at a diagonal facing incoming runoff.

**INSPECTION & MAINTENANCE**

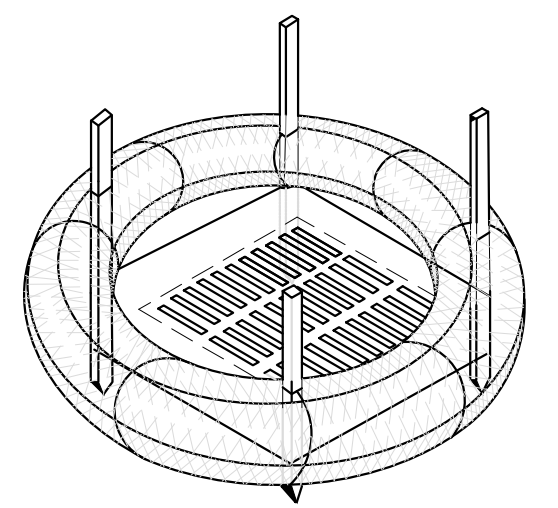
- The key to functional inlet protection is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of sediment tube inlet protection shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
- Attention to sediment accumulations in front of the sediment tube is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
- Remove accumulated sediment when it reaches 1/3 the height of the sediment tube. When a sump is installed in front of the inlet protection, sediment shall be removed when it fills approximately 1/3 the depth of the sump.
- Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
- Large debris, trash, and leaves should be removed from in front of tubes when found.
- Inlet protection structures should be removed after the disturbed areas are permanently stabilized. Remove all construction material and sediment, and dispose of them properly. Grade the disturbed area to the elevation of the drop inlet structure crest. Stabilize all bare areas immediately.



SEDIMENT TUBE BURIAL DETAIL



POST INSTALLATION DETAIL



SEDIMENT TUBE INSTALLATION DETAIL

TEMPORARY INLET PROTECTION (SEDIMENT TUBE)  
NOT TO SCALE

**WK DICKSON**  
community infrastructure consultants

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**SOUTH CAROLINA PROFESSIONAL SEAL**

10/13/21  
No. 38171  
DANIELLE M. BROWN

**SOUTH CAROLINA CERTIFICATE OF AUTHORITY**

W. K. DICKSON & COMPANY, INC.  
No. 000177

**CITY OF COLUMBIA, S.C.**  
We Are Columbia

NO.	DATE	DESCRIPTION	BY

**DRAWING STATUS - FOR BID**

PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMMER POND AND HARD SCRABBLE ROADS  
FOR CITY OF COLUMBIA  
RICHLAND COUNTY, SOUTH CAROLINA

DRAWING TITLE: MISCELLANEOUS DETAILS

PROJ. MGR.: BCW  
DESIGN BY: SMH / TDM  
DRAWN BY: TDM  
PROJ. DATE: 1/13/2021  
DRAWING NUMBER: **D4**  
WKD PROJ. NO.: 20190471.00.CA







Rimer Pond Road Easement Conditions Cont.

TMS #	Conditions
Easement #46 Margaret E. Anderson R17700-01-28 458 Rimer Pond Rd	<p>1. No vehicles or equipment can be left on or in front of the subject property overnight and when work is not being performed.</p> <p>2. Access must be available in and out of the driveway at all times while construction is being performed on the subject property.</p> <p>3. The construction work on the subject property must be performed in a reasonable time frame while keeping the property owner informed if any unforeseen issues arise from the construction process.</p> <p>4. If any drainage areas are disturbed adjacent to the subject property, necessary repairs will be made to restore the drainage areas to the pre-construction condition.</p> <p>5. The City will video and/or take pictures of the easement area and road right-of-way area in front of the subject property prior to construction to ensure all conditions are met in a reasonable manner.</p>
Easement #46A Sycamore Development, LLC R20500-04-27 502 Rimer Pond Rd	<p>1. The Grantor reserves unto itself, its successors and assigns, successors in title, assignees, invitees, lessees, guests, customers, and anyone to whom Grantor may lease all or a portion of the property over which the aforesaid easement is granted the right of access, and the right to landscape (ornamental shrubbery only, no trees), pave, fence (no masonry or concrete footings), park (no commercial weight vehicles), and otherwise use of the easement area in any manner that does not materially and adversely affect the easement granted hereunder.</p> <p>2. Additionally, Grantor reserves unto itself, its successors and assigns, successors in title, assignees, invitees, lessees, guests, customers, and anyone to whom Grantor may lease all or a portion of the property over which the aforesaid easement is granted the right to install and maintain other utilities, including but not limited to water, sanitary sewer, electricity, gas, cable television cables, telephone lines, fiber optics lines, and other similar utilities to serve the Grantor's adjoining property, that cross the easement area at approximate right angles and grant easements to the same, provided, however, any such easements shall be subject to this easement to the City of Columbia.</p>
Easement #48B Rimer Pond Land Investors, LLC R20500-04-29 502 Rimer Pond Rd	<p>1. The Grantor has the right to landscape (ornamental shrubbery only, no trees), pave, fence (no masonry or concrete footings), park (no commercial weight vehicles), and otherwise use the easement area in any manner that does not materially and adversely affect the easement granted hereunder.</p> <p>2. The Grantor shall be able to proceed with the project design and use the allowed vegetation within the easement area that is under the City's current easement encroachment policy as of the date of execution of this document. If the City's encroachment policy should change between the date of execution of this document to the time the Grantor has begun construction, the Grantor shall have three (3) years from the date of this document's execution to abide by the encroachment policy in place on the day of this document's execution.</p>
Easement #49 William Simons Bradham, Jr. & David Wright Bradham R20500-04-01 532 Rimer Pond Rd	<p>The City will agree to set one standard residential tap for the subject property. It is understood and agreed that the City does not waive the fees for a Dual Check Valve, meter nor any of the usual rules, regulations or monthly service charges normally required by the City at the point in time application for water service is made.</p>
52 Alexander and Vanessa English R20500-04-05 596 Rimer Pond Rd	<p>1. The entire route of the construction project will be videoed prior to commencement of construction to ensure proper restoration of the Grantors property and any improvements on the Grantors property located within the construction project area.</p> <p>2. The City of Columbia will have an inspector for this project who will ensure that the construction is done in accordance with the approved construction plans and the terms and conditions of the easement. Should the Grantor encounter any unforeseen issues regarding the construction along the subject property, then the Grantor shall inform the project inspector of the issues for resolution or contact the City of Columbia Construction Management Department at 803-545-3372.</p> <p>3a. The City of Columbia, its contractor, agents and employees will remain only within the immediate area of the work being performed during the construction and restoration work on the subject property.</p> <p>3b. Temporary fencing will be installed to prohibit unwarranted access to the property during the construction and restoration phases of the project.</p> <p>3c. The City of Columbia, its contractor, agents and employees shall not obstruct the Grantors' access to their residence located on the subject property during construction. Should the existing main driveway located along the subject property be impeded due to the water line construction activity, the City of Columbia, its contractor, agents and employees shall provide an alternate temporary access to the residence for the Grantors' use only.</p> <p>4. The City, through its Contractor, agrees to disassemble any portions of the existing wooden privacy fence located on the northern boundary of the subject property at the latest reasonable time as the Construction of the new water main is nearing the subject property, while adhering to best engineering practices. Additionally, the City, through its contractor will agree to install temporary privacy fencing of the same height or greater of the existing wooden fence located on the subject property and it is understood that the contractor shall not leave any gaps in the fencing that would impact privacy during this temporary privacy fencing component to the construction process, while adhering to best engineering practices.</p> <p>4a. The City, through its Contractor, agrees to re-assemble any portions of the existing wooden privacy fence which are affected during the construction located on the northern boundary of the subject property as soon as reasonably practicable once construction is fully completed along the subject property and during the restoration phase of the project, while adhering to best engineering practices. Additionally, the City, through its contractor agrees to re-assemble the existing wooden privacy fence to its original location along the subject property in a reasonable timeframe and shall not leave any gaps in the fencing that would impact privacy during this re-assembling component to the construction process, while adhering to best engineering practices.</p> <p>4b. The City, through its Contractor, agrees to disassemble any portions of the existing wire fence and any gates associated with the existing wire fence that are located within the easement areas on the subject property and affected by the construction project at the latest reasonable time as the construction of the new water main is nearing the subject property, while adhering to best engineering practices. Additionally, the City, through its Contractor, agrees to assemble temporary wire fencing and temporary gates of the same height or greater of the existing wire fence and gates associated with the existing wire fence currently located on the subject property. It is understood that the contractor shall not leave any gaps in the fencing that would impact privacy during this temporary privacy fencing component to the construction process, while adhering to best engineering practices.</p> <p>4c. The City, through its Contractor, agrees to re-assemble any portions of the existing wire fence and any gates associated with the existing wire fence that are located on the subject property as soon as reasonably practicable once construction is fully completed along the subject property and during the restoration phase of the project, while adhering to best engineering practices. Additionally, the City, through its Contractor, agrees to re-assemble the existing wire fence to its original location along the subject property in a reasonable timeframe and shall not leave any gaps in the fencing that would impact privacy during this re-assembling component to the construction process, while adhering to best engineering practices.</p> <p>4d. Should any portion of the wooden privacy fencing located within the easement and construction areas not be able to be re-assembled due to the current state or the existing state at the time of construction along the subject property, then the contractor shall install new wooden privacy fencing of the closest style, color and stain to match the existing wooden privacy fence for the sections to be removed from the easement and construction areas located on the subject property.</p> <p>4e. Any damages to the existing wooden privacy fencing or the existing wire fencing located on the subject property shall be restored to as nearly as practicable to the original condition of the said fencing prior to construction at no cost to the Grantor.</p> <p>4. Every effort will be made by the City through its contractor, to not disturb the existing Bradford Pear trees located adjacent to the subject property at the right-of-way boundary of Rimer Pond Road.</p> <p>5. Trees which must be removed in the permanent easement areas along the northeastern portion of the subject property from the termination of the existing wooden privacy fence to the northeastern property corner of the subject property shall include the removal of the trees and the associated stumps and debris from the subject property.</p> <p>6. The existing large Pine tree (20" to 30" in diameter) shall be marked and not damaged or removed during construction of the subject project.</p> <p>7. The City, through its Contractor, will replace the any of the existing Crepe Myrtle trees which are located within the easement area and which line the driveway along the subject property. Each existing Crepe Myrtle tree affected shall be replaced with new (15) gallon Crepe Myrtle trees in a location outside of existing easement area along the subject property. The Grantor shall instruct the Contractor as to the specific locations of the new planted fifteen (15) gallon Crepe Myrtle trees. The new planted Crepe Myrtle trees shall be subject to a one year warranty, subject to the Grantor exercising normal care and irrigation of said trees, and should the new fifteen (15) gallon Crepe Myrtle trees die within one year after being planted, the City of Columbia will replace the said Crepe Myrtle tree with a new 15-gallon Crepe Myrtle tree at its sole expense. This condition shall be acknowledged by the Grantor that the City must be granted temporary permission for the contractor to work outside of the easement boundaries for tree planting purposes only during the restoration phase of the project.</p> <p>8. The City, through its Contractor will agree to construct one sufficient temporary dog pen for purposes of housing Grantors' dogs. This temporary fenced dog pen would be placed on the subject property at the direction of the Grantor and the Grantor shall grant permission to the Contractor to erect a dog pen outside of the Easement area.</p> <p>9. Any portion of outdoor lighting that is disturbed or damaged as a result of the water main construction will be repaired and/or replaced with the same style fixtures, and to the same standard which existed prior to water main construction along the subject property. This condition shall be acknowledged by the Grantor that the City must be granted temporary permission, if necessary, for the contractor to work outside of the easement boundary for outdoor lighting reinstallation purposes. All electrical restoration work shall be done as soon as practicable once the construction has been completed along the subject property.</p> <p>10. All sections of the driveway that are impacted by the water main construction along the subject property will be restored with the same materials to a condition that is as nearly as practicable or better than the original condition during the restoration phase of the project.</p> <p>11. Prior to construction along the subject property, the Contractor is responsible for locating all underground utilities. Should the water line construction impact electrical service or any other utility services to the residence or other structure on the subject property, the contractor shall address the issue immediately and coordinate with the power company and/or other utility provider to restore service to the residence and/or other structure located on the subject property. Should any unforeseen issues arise concerning services for use of the residence or other structure on the subject property other than during construction activities and for a limited time, the Grantor shall be notified.</p>

NOTE:

- THIS TABLE CONTAINS EASEMENT CONDITIONS FROM THE FINAL EASEMENT DOCUMENTS.
- THIS TABLE IS FOR REFERENCE. CONTRACTOR IS RESPONSIBLE FOR COMPLETING ALL EASEMENT CONDITIONS IN FINAL EASEMENT DOCUMENTS.

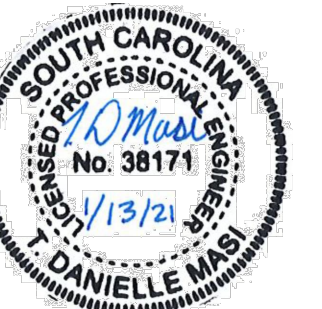
Hardscrabble Road Easement Conditions

TMS #	Conditions
Easement #2 Katherine W. Thomas R20500-03-06 5338 Hard Scabble Rd	<p>The City will video and/or take pictures of the easement area on the subject property prior to construction to ensure that any damaged shrubbery will be replaced with the same variety from nursery stock.</p>
Easement #5 Columbia 184, LLC R20400-01-13 East Side of Hard Scabble Rd	<p>1. The number of fire hydrants and the general locations of where fire hydrants are to be installed shall be in accordance with the construction plans for this project.</p> <p>2. The Grantor reserves unto itself, its successors and assigns, successors in title, assignees, invitees, lessees, guests, customers, and anyone to whom Grantor may lease all or a portion of the property over which the aforesaid easement is granted the right of access, and the right to landscape (ornamental shrubbery only, no trees), pave, fence (no masonry or concrete footings), park (no commercial weight vehicles), and otherwise use the easement area in any manner that does not materially and adversely affect the water main and/or easement granted hereunder.</p> <p>3. Public records indicate that existing Bud Keef Road has never been conveyed to Richland County, but it is recognized by Richland County as a "County Maintained Road" in which Richland County claims a prescriptive easement for maintenance purposes along existing Bud Keef Road. The City shall apply for an encroachment permit from Richland County in addition to obtaining this easement.</p> <p>4. Notwithstanding anything to the contrary contained here, Grantor does not believe it has fee simple ownership of that portion of Bud Keef Road located on or adjacent to the Subject Property, but in the event Grantor does have an interest (fee simple or otherwise), Grantor hereby grants an exclusive water line easement across the portion of Bud Keef Road more fully shown on Exhibit "A" attached hereto. Grantor makes no warranty of title regarding such grant or conveyance.</p> <p>5. The City of Columbia, at its sole cost and expense, shall tap the water main and extend a water main across Hard Scabble Road to the property boundary of the subject property, without imposing any additional charges for boring, trenching or other similar activities necessary to extend service to that portion of the subject property currently owned by Grantor lying to the west of Hard Scabble Road.</p>

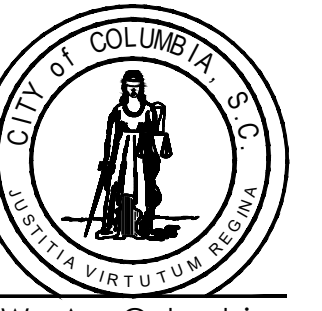


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PROFESSIONAL SEAL



NO.	DATE	DESCRIPTION	BY

PROJECT NAME: WATER SYSTEM IMPROVEMENTS ALONG RIMER POND AND HARD SCRABBLE ROADS FOR THE CITY OF COLUMBIA, RICHLAND COUNTY, SOUTH CAROLINA  
DRAWING TITLE: EASEMENT CONDITIONS 2

PROJ. MGR.: BCW  
DESIGN BY: SMH / TDM  
DRAWN BY: TDM  
PROJ. DATE: 1/13/2021  
DRAWING NUMBER:

D6

WKD PROJ. NO.: 20190471.00.CA

DRAWING STATUS - FOR BID

FILE: E:\Bids\2021\20210113\20210113\_01\20210113\_01.dwg, PLOT: 20210113\_01.dwg, PLOT DATE: 1/13/21 10:34:48 AM, PLOT BY: DICKSON